LEGISLATIVE COUNCIL REGULAR MEETING
COUNCIL CHAMBERS, 3 PRIMROSE STREET, NEWTOWN, CT
WEDNESDAY, DECEMBER 16, 2020

MINUTES

PRESENT VIA TELECONFERENCE: Jordana Bloom (7:39 pm), Alison Plante, Chris Smith, Phil Carroll, Ryan Knapp, Judit DeStefano, Paul Lundquist, Chris Eide, Dan Wiedemann, Cathy Reiss, Andy Clure, Dan Honan

ALSO PRESENT: First Selectman Dan Rosenthal, Finance Director Bob Tait, 0 public, 2 press

CALL TO ORDER: Mr. Lundquist called the meeting to order with the Pledge of Allegiance at 7:32 pm.

VOTER COMMENT: None

MINUTES: Mr. Honan moved to accept the minutes with the below edits made of the December 2, 2020 Legislative Council Regular Meeting. Seconded by Mr. Eide. All in favor. Motion passes (12-0).

Mr. Eide stated that there were errors to the following motions from the December 2nd minutes. They should read as noted below:

Mr. Honan moved to have the town attorney give a legal opinion on the three ordinances. Seconded by Mr. Smith. ~~*Motion rescinded.*~~

Mr. Eide moved to make an amendment to the previous motion to instead have the town attorney give a legal opinion on a proposal to ban open carry on public property. Seconded by Ms. DeStefano. Motion to amend passes (9-3).

Vote on amended motion to have the town attorney give a legal opinion on a proposal to ban open carry on public property passes (7-5).

COMMUNICATIONS: More emails received regarding the proposed gun ordinances from the December 2nd meeting. *See attachment A.*

COMMITTEE REPORTS:
Education Committee – None
Finance Committee – None
Municipal Operations Committee – None
Ordinance Committee – Mr. Knapp had Kinga Walsh, Chair of the Community Center Committee, present at their last meeting. They discussed some issues and are working through them together.
Charter Revision Interview Committee – Mr. Wiedemann stated that the ad to recruit members for the interview process will be posted in this week's issue of the Newtown Bee.
Charter Revision Charge Committee – Ms. DeStefano said that they met last week and spoke on hoping to get feedback from boards and commissions by January 25th. They discussed some potential issues that they would like to see worked on and if anyone else has other items to add, please submit to Ms. DeStefano.

FIRST SELECTMAN'S REPORT: First Selectman Dan Rosenthal gave an update on the Eversource investigation. The four towns involved testified all day at a hearing this past Monday. The testimony was pre-filed and they had to speak to it during cross-examination by PURA, DEEP, and Eversource's attorneys. It appeared that PURA really understood the issue and it was a successful day. The process remains ongoing and they will not be due to render any decision until late Winter/early Spring. Mr. Clure commented that he is very appreciative of the First Selectman's hard work and involvement with the Eversource investigation.

First Selectman Rosenthal ended with reporting that the new system in the Council Chambers is ready and fully functional.

NEW BUSINESS

Discussion and Possible Action

- 2021-22 – 2025-26 CIP

Mr. Lundquist opened up the discussion by asking for general comments and questions regarding the town's CIP projects. *See attachments B and C.* He will invite the appropriate parties like the BOE and Public Building and Site for further detailed discussion to one of the next LC meetings in January – the LC has 60 days from December 2nd to complete the process. Most of the revisions were project costs attributed to the Hawley HVAC project which now totals about $8 million. *See attachment D.* This helped drive a lot of the other changes that the BOF had to contend with in getting us the CIP. Even with these revisions, the debt service remains well under our debt cap. The CIP is solid and our debt cap is at 9% until July 1, 2023 where, by policy, it has to be at 8.5%. and it has to be at 8%.

Mr. Smith asked to have further detail from the BOF regarding the Hawley HVAC project. He would like to see other alternatives or if there are other scenarios on how the increase could be handled. The First Selectman commented that there will be more discussion as the numbers become more firm and whether this will even make the April referendum, and that a November referendum seems more likely.

Mr. Knapp's takeaway from the last set of minutes from the BOF meeting was that they were caught off guard. He's not sure the BOF had the opportunity and awareness that this would essentially double in cost - they approved the CIP but they didn't have the opportunity to run around the numbers. He is concerned that the numbers will come in higher.

Ms. Reiss asked about the Middle School investigating their own HVAC system and how a school closure would be handled. Mr. Knapp felt it was worth noting that the numbers have continued to climb; a lot of money has already been spent on the heating system and feels there would've been a cheaper alternative had they done something differently years ago. It's more of a big picture topic when they try selling this to the voters when it's time to go to referendum. Mr. Lundquist interjected that this topic is something that he does not want to get into without the BOE present. Ms. DeStefano agreed and feels we are beyond the scope of what this conversation should be about.

Mr. Knapp stated that the number doubled and ultimately it is the Council's responsibility to put forth the proper information to the voters. He is disappointed that no one ever had clarity that we were off by a factor of two. He is concerned about putting forth something that may fail.

Mr. Honan asked if someone from Public Building and Site could be present to discuss the Hawley project.

Mr. Carroll expressed his concerns with the increasing costs. He feels that the BOE's numbers don't stay firm, they increase with every large project presented.

Mr. Wiedemann feels that the BOE should address or research the project further. He believes that even if we put this amount of money into this building, we will still end up with a building that is not ADA complaint simply due to the age of the building, and we should examine it further before making any final decisions.

Ms. Reiss noticed the Sandy Hook Permanent Memorial will start in year one, what is the process for that? The First Selectman replied that sometime in early January we will have a final budget and design. The goal would be to have this on the ballot in April.

Mr. Smith asked to hear from the library group, and noted their numbers have gone up as well. The First Selectman stated that nothing has changed with the library's budget but that some of the funds moved around from year to year. However, the BOF added more money to the paving project at the library. Mr. Tait confirmed that there were no changes with the exception to the paving.

Ms. Reiss asked for clarification about the cleanup of 28A Glen Road. First Selectman Rosenthal stated that this is a town owned property which currently has grant funding going towards cleanup around the property. Eventually they will need more money to take the building completely down.

Regarding the turf replacement at the high school, Mr. Wiedemann asked if it is really a necessity to be done this year given the current situation with Covid and decreased use of the fields due to sports cancellations; and could Park and Rec combine this with some of the other field replacements to do at once to cut back on some costs. Ms. Reiss would also like to know what the increase by $45,000 is for.

Ms. Plante asked about the Batchelder Park project presented at $1.4 million in year five, do we know and what that number would be used for. The First Selectman replied that we would not be using any of the town money towards this one – it will be all grant money. Park and Rec would like to create some trail connectivity there that runs through Monroe.

Mr. Smith asked if the Emergency Radio project remains the same and also asked why the Fire numbers went up by $300,000. The First Selectman responded that the emergency radio dispatch equipment is in the process of being installed and we will have a final number for that in January. In regards to the Fire apparatus, he stated there was a swap in years for a tanker. Ms. Plante asked if there is a market to sell the old vehicles. Mr. Rosenthal said that we do sell them but usually do not fetch much money for them.

Mr. Wiedemann asked why there is no money allocated in year one towards bridges. Mr. Tait said there are about $800,000 in appropriations available for bridges and therefore do not need more for this year. Mr. Wiedemann also asked if the money allocated to Fairfield Hills building remediation in year two is enough. The First Selectman said later on we will have a better idea of what buildings a builder would like to pursue and would more than likely put forward an appropriation next year for the total amount.

Mr. Honan asked about the paving project at Edmond Town Hall in year two and what the leanto's of the dumpsters. Mr. Lundquist said he will get clarification on that.

To conclude, Mr. Lundquist stated he had notes to get clarification around the library numbers, and to follow up with the BOE and Public Building and Site. Mr. Clure then asked if he could add Rick Spreyer, the town's Purchasing Agent, to be included in the next meeting as well.

Mr. Lundquist also wanted to say for the record that his wife works part-time as a Paraeducator at Hawley School, and this will not affect his votes or his conversation.

VOTER COMMENT: None

ANNOUNCEMENTS: None

ADJOURNMENT: There being no further business, Ms. DeStefano moved to adjourn the meeting at 8:34 pm. Seconded by Ms. Reiss. All in favor.

Respectfully submitted,
Rina Quijano, Clerk

THESE MINUTES ARE SUBJECT TO APPROVAL BY THE LEGISLATIVE COUNCIL AT THE NEXT MEETING.

Attachment A

Your name: Kenneth Robertson
Your e-mail address: kcrmusic@kc.rr.com
Subject: Gun Violence
Message:
I approve to all of the following:
1. prohibiting gun owners from openly carrying their firearms in town
2. prohibiting on town-owned property such as Fairfield Hills and the Newtown Municipal Center
3. prohibiting intimidation at public demonstrations/protests/rallies/marches/vigils.

Your name: Jerry Li
Your e-mail address: jerrylili@gmail.com
Subject: Comment on NAA Proposal to ban
Message:
Hello,
My name is Jerry Li and I would like to comment on the NAA proposal to ban firearm carry on town property, at demonstrations, and open carry in general. I believe in the 2nd Amendment but I also believe in the safety of residents. CT has one of the strictest laws in place to purchase firearms, as a result of what happened in Newtown in 2012. From reading the NAA proposal, I do not see any valid genesis for any of these new proposed rules. What has happened recently that triggered the need for these new rules? Gun laws are a fine balance between maintaining 2A rights under the constitution and legislating rules to ensure safety for the public. Careful consideration need to be made every time, but I just don't see enough of benefit to the public that outweighs infringement of 2A rights at this time for these specific proposals.
I'm a Stamford resident and in 2012 I was working at GE Capital in Stamford, in the same building where Peter Lanza worked. For weeks that was the hard tragedy that effected my work community immensely. I'll never forget where I was and what I was doing when I head the news. And I'm sure it's the same for the members of NAA. But we have to move on. Law abiding permit holders did not commit those acts in 2012. Removal of all civilian firearms would stop such events in the future but it's simply against our constitution, NAA needs to find another way to prevent such acts.
Sincerely,
Jerry Li
Stamford, Conn
12/7/2020

Your name: Daniel Pierce
Your e-mail address: piercedaniel@att.net
Subject: Open Carry
Message: CT is already an open carry state although it's a farce since if I were to carry openly that it would cause chaos. I am a law abiding citizen and carry frequently. There is no boundary that turns me into a mass murderer. Town property or private I am the same conscience person. In a larger picture I feel the same about state restrictions.

Your name: Michael Pantano
Your e-mail address: mpantano7@gmail.com
Subject: Proposed gun ordinances
Message:
I have been living in Newtown for 11 years. I love this town and I truly care about its future. The proposed ordinances are more examples of increasing government over reach by ignorant and scared people. They are not only unconstitutional, but counterproductive to the ultimate goal of making Newtown and our state a safe place for our children to live. The tragedy at Sandy Hook has NOTHING to do with law abiding citizens practice their right to bear arms on town property. We need more armed officers in schools, and more responsible citizens concealed carrying in town. So-called "Gun Free Zones" have proven to be targets for psychotic people hell-bent on causing harm to others. Groups like the Newtown Action Alliance are creating a problem where one does not exist just to push their extreme agenda. Please vote down this mis-guided legislation. Thank you!
Mike Pantano
8 Pine Tree Hill Rd
Newtown, CT

Your name: Joe Harrington
Your e-mail address: joeyharrington1997@yahoo.com
Subject: Firearm ordinances
Message: I have lived in Newtown my entire life. I understand how tragic the shooting was believe me, I was a freshman at NHS when it happened. But my question is why are law abiding gun owners being punished? No one has the right to infringe any constitutional rights period. I do not accept these proposed ordinances they're a direct attack on every legal gun owner in Newtown/Connecticut. Please do not pass these ordinances.

Your name: Shelley Minden
Your e-mail address: shelleyminden@msn.com
Subject: Preventing armed intimidation
Message:
I remember living near Newton many years ago -- a beautiful and peaceful city. Please keep it that way by changing gun laws to prevent armed intimidation.
Thank you for your consideration.

Subject: Newtown Freedoms
Good day,
I would like to respond to the “protect the Newtown citizens” proposal to ban guns in our town. I am a Sandy-hook/Newtown citizen and home owner. I have grown up around guns my entire life and have taken the required skills and documentation to carry a gun in the state of Connecticut. For me it’s more of an enjoyment of target shooting, but if needed I have the skills to protect myself.
My thought on the choice to carry is a freedom we have been given, but also that freedom should come with guidelines. Guns will never disappear, bad people will always find a way to get a gun. The citizens that choose to carry go through a long expensive process with training to be able to carry in Connecticut. These are not the ones you should be fearing. I believe we should focus on education and training of guns and how to properly use them. The second item I believe is important, mental health is not addressed like it should be. It often gets overlooked or brushed under the rug. If a person doesn’t want a gun that is their choice just as someone that goes through state policies to have a gun is their choice also.
As a citizen we have the ability to make choices, whether good or bad. We need to remember we do not live in a perfect world and getting rid of something doesn’t always solve the problem. Education and awareness are key.
Thank you and have a great day!
Wendy J. Stone

Subject: 2nd amendment concerned town resident
Good morning
As a long time Newtown resident, I would like to express my concerns and opposition to any change in law regarding my second amendment rights. I just recently became aware of the NAA trying to ban the carry of fire arms in certain parts of town. I strongly oppose this. As our town legislative team I implore you to not consider pursuing this any further.
Thank you for your time and consideration
Troy Simek

Attachment B

	Change in Bonded Amounts: 2020-21 approved vs BOF 2021-22 Recommended	
	11/30/2020	
		2021-22
*	Library Renovations ($750,000); $200,000 kept in 2021-22; $550,000 moved to	
	2022-23	(550,000)
*	Hawley Ventilation & HVAC split over 3 years (total increased from $3,962,000 to 8,000,000)	(2,462,000)
	3 year split = yr 1 - $1,500,000; yr 2 - $2,500,000; yr 3 - $4,000,000.	
*	High School Turf Field ($750,000); increased by $45,000 (6%)	45,000
*	Hawley New Generator ($250,000); Reed School Gas Boiler/lED Lighting ($1,539,894)	1,789,894
	Moved from prior year 6	
*	Head O' Meadow Boiler Plant & Lighting in prior year 4 was split into two. Head O'Meadow Lighting	425000
	was moved to 2021-22 ($425,000); Head O'Meadow Boiler Plant is in 2023-24 ($425,000)	
		(752,106)
		2022-23
*	Fire Apparatus ($535,000); S.H. tanker & S.H. ladder switched years	
	2022-23 & 2023-24; $50,000 was added to both.	(85,000)
*	Additional amount for clean up of 28A Glen road	650,000
*	Edmond Town Hall theatre renovation was taken off (was amended and	
	completed in prior year)	(250,000)
*	Library renovations - $550,000 was moved from 2021-22 (see above) & planned	550,000
	2022-23 amount was moved to 2023-24 ($650,000)	(650,000)
*	Reed School Gas Boiler/LED ($1,452,730) moved to year 1 2021-22	(1,452,730)
*	Hawley Ventilation & HVAC (2 of 3)	2,500,000
*	Middle School HVAC Design (formally Middle School Improvements Design) moved to 2023-24	(300,000)
		962,270
		2023-24
*	Library Renovations pushed to 2023-24 from prior year (see above)	650,000
	$396,000 added to Library Renovations to properly reflect paving component	396,000
*	Head O'Meadow School Boiler Plant & Lighting ($997,672); reduced by $147,672	(147,672)
	& Lighting component was moved to 2021-22 ($425,000)	(425,000)
*	Fire Apparatus switch (see above) added $235,000 to project. This was	
	proposed to be funded by capital & non-recurring.	-
*	Hawley Ventilation & HVAC (3 of 3)	4,000,000
*	Middle School HVAC (formally Middle School Improvements) moved to 2025-26 due to increase in	(3,568,140)
	Hawley Ventilation & HVAC project	
*	Middle School HVAC Design moved from 2022-23	300,000
		1,205,188
		2024-25
*	Zero Bonding Year	-0-
	TOTAL CHANGE	1,415,352

Attachment C

Town of Newtown

Board of Finance - Recommended 2021-22 to 2025-26 CIP

(w/ 5 additional years to 2030-31 for informational purposes)

11/30/2020

INDEX:

TOWN OF NEWTOWN

BOARD OF FINANCE RECOMMENDED CIP - (2021 - 2022 TO 2025 - 2026)

2021 - 2022 (YEAR ONE)			Proposed Funding			
	Dept.	Amount Requested	Bonding	Grants	General Fund	Other
Capital Road Program	PW	3,000,000	500,000		2,500,000	
Bridge Replacement Program	PW	-	-			
Emergency Radio System Upgrades	ECC	5,041,933	5,041,933			
Sandy Hook Permanent Memorial	SH MEM	2,000,000	2,000,000			
Town Match - Grants (contingency)	ECON DEV	200,000				200,000
Clean Up of 7 & 28A Glen Road	ECON DEV	200,000	200,000			
Library Renovations / replacements / upgrades	LIB	200,000	200,000			
Hawley School - Ventilation & HVAC (1 OF 3)	BOE	1,500,000	1,500,000			
Hawley School - New Generator	BOE	250,000	250,000			
High School - Replace/Restore Stadium Turf	BOE	795,000	795,000			
Reed School - Install Gas Boiler/LED Lighting	BOE	1,539,894	1,539,894			
Head O'Meadow School - Lighting	BOE	425,000	425,000			
TOTALS	>>>>>>>>	15,151,827	12,451,827	-	2,500,000	200,000

2022 - 2023 (YEAR TWO)			Proposed Funding			
	Dept.	Amount Requested	Bonding	Grants	General Fund	Other
Capital Road Program	PW	3,000,000	250,000		2,750,000	
Bridge Replacement Program	PW	400,000	400,000			
Replacement of Fire Apparatus	FIRE	450,000	450,000			
Sandy Hook Permanent Memorial	SH MEM	2,000,000	2,000,000			
Clean Up of 28A Glen Road	ECON DEV	650,000	650,000			
Town Match - Grants (contingency)	ECON DEV	200,000				200,000
Building Remediation & Demo / Infrastructure	FHA	2,000,000	2,000,000			
Edmond Town Hall Parking Lot Improvements	ETH	450,000	450,000			
Library Renovations / replacements / upgrades	LIB	550,000	550,000			
Hawley School - Ventilation & HVAC (2 OF 3)	BOE	2,500,000	2,500,000			
TOTALS	>>>>>>>>	12,200,000	9,250,000	-	2,750,000	200,000

2023 - 2024 (YEAR THREE)			Proposed Funding			
	Dept.	Amount Requested	Bonding	Grants	General Fund	Other
Capital Road Program	PW	3,050,000	-		3,050,000	
Bridge Replacement Program	PW	400,000	400,000			
Multi-Purpose Building Electrical/Mechanical/HVAC	PW	413,000	413,000			
Municipal Center - Roof Remediation & Replacement	PW	1,000,000	1,000,000			
Replacement of Fire Apparatus	FIRE	1,035,000	800,000			235,000
Town Match - Grants (contingency)	ECON DEV	200,000				200,000
Library Renovations / replacements / upgrades	LIB	1,046,000	1,046,000			
Building Remediation & Demo / Infrastructure	FHA	1,500,000	1,500,000			
Lake Lillinonah Park Improvements	P & R	500,000				500,000
Hawley School - Ventilation & HVAC (3 OF 3)	BOE	4,000,000	4,000,000			
Head O'Meadow School - Boiler Plant	BOE	425,000	425,000			
Middle School HVAC - Design	BOE	300,000	300,000			
TOTALS	>>>>>>>>	13,869,000	9,884,000	-	3,050,000	935,000

2024 - 2025 (YEAR FOUR)			Proposed Funding			
	Dept.	Amount Requested	Bonding	Grants	General Fund	Other
Capital Road Program	PW	3,100,000			3,100,000	
Town Match - Grants (contingency)	ECON DEV	200,000				200,000
TOTALS	>>>>>>>>	3,300,000		-	3,100,000	200,000

2025 - 2026 (YEAR FIVE)			Proposed Funding			
	Dept.	Amount Requested	Bonding	Grants	General Fund	Other
Capital Road Program	PW	3,150,000	-		3,150,000	
Bridge Replacement Program	PW	400,000	400,000			
Replacement of Fire Apparatus	FIRE	750,000	750,000			
Building Remediation & Demo / Infrastructure	FHA	2,000,000	2,000,000			
Library Renovations / replacements / upgrades	LIB	1,000,000	1,000,000			
Edmond Town Hall Building Renovations	ETH	550,000	550,000			
Town Match - Grants (contingency)	ECON DEV	200,000	-			200,000
Treadwell Artificial Turf & Lighting	P & R	800,000	250,000			550,000
Rail Trail - Batchelder Park	P & R	1,400,000		1,400,000		
Middle School HVAC	BOE	3,782,228	3,782,228			
TOTALS	>>>>>>>>	14,032,228	8,732,228	1,400,000	3,150,000	750,000

GRAND TOTALS		**58,553,055**	**40,318,055**	**1,400,000**	**14,550,000**	**2,285,000**

Town of Newtown, Connecticut

Capital Improvement Plan

'21/'22 thru '30/'31

PROJECTS & FUNDING SOURCES BY DEPARTMENT

Department	Project #	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	'26/'27	'27/'28	'28/'29	'29/'30	'30/'31	Total
Board of Education												
Hawley - Ventilation and HVAC	BOE-01	1,500,000	2,500,000	4,000,000								*8,000,000*
Bonding		*1,500,000*	*2,500,000*	*4,000,000*								*8,000,000*
High School - Replace / Restore Stadium Turf	BOE-02	795,000										*795,000*
Bonding		*795,000*										*795,000*
Reed - Install Gas Boiler / LED Lighting	BOE-03	1,539,894										*1,539,894*
Bonding		*1,539,894*										*1,539,894*
Middle School HVAC	BOE-04			300,000		3,782,228						*4,082,228*
Bonding				*300,000*		*3,782,228*						*4,082,228*
Head O'Meadow - Boiler Plant	BOE-05			425,000								*425,000*
Bonding				*425,000*								*425,000*
Head O'Meadow - Lighting	BOE-05B	425,000										*425,000*
Bonding		*425,000*										*425,000*
Hawley - New Generator	BOE-06	250,000										*250,000*
Bonding		*250,000*										*250,000*
Middle Gate - Window Modifications	BOE-07						1,000,000					*1,000,000*
Bonding							*1,000,000*					*1,000,000*
High School - Turf Practice Field (rear of school)	BOE-08						1,100,000					*1,100,000*
Bonding							*1,100,000*					*1,100,000*
Hawley - Elevator to Café	BOE-09						318,000					*318,000*
Bonding							*318,000*					*318,000*
Reed - New Roof, Solar panels remove and reinstall	BOE-10						3,710,000					*3,710,000*
Bonding							*3,710,000*					*3,710,000*
Middle School - Complete Kitchen Renovation	BOE-11						795,000					*795,000*
Bonding							*795,000*					*795,000*
High School - New Roof / Restoration	BOE-12						2,921,360					*2,921,360*
Bonding							*2,921,360*					*2,921,360*
High School - Rear Field Facilities and Storage	BOE-13						954,000					*954,000*

Department	Project #	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	'26/'27	'27/'28	'28/'29	'29/'30	'30/'31	Total
Bonding							*954,000*					*954,000*
Hawley - Classroom Renovations '21 section	BOE-14							1,011,240				*1,011,240*
Bonding								*1,011,240*				*1,011,240*
Middle Gate - Pave Parking Lot, Curbing, Sidewalks	BOE-15							1,378,000				*1,378,000*
Bonding								*1,378,000*				*1,378,000*
Head O"Meadow - New Roofing / Restoration	BOE-16							2,696,640				*2,696,640*
Bonding								*2,696,640*				*2,696,640*
Reed - Repave Parking Lot, Curbing, Sidewalks	BOE-17							2,120,000				*2,120,000*
Bonding								*2,120,000*				*2,120,000*
Middle School - Library & Science Lab Renovations	BOE-18							3,710,000				*3,710,000*
Bonding								*3,710,000*				*3,710,000*
High School - Athletic/Stadium Field House & Store	BOE-19							1,685,400				*1,685,400*
Bonding								*1,685,400*				*1,685,400*
Hawley - Repave Parking Lot, Curbing, Sidewalks	BOE-20								1,378,000			*1,378,000*
Bonding									*1,378,000*			*1,378,000*
Middle Gate - Complete Kitchen Renovation	BOE-21								397,500			*397,500*
Bonding									*397,500*			*397,500*
Head O'Meadow - Replace / Update A/C	BOE-22								6,179,800			*6,179,800*
Bonding									*6,179,800*			*6,179,800*
Middle School - Parking Lot, Curbing, Sidewalks	BOE-23								1,685,400			*1,685,400*
Bonding									*1,685,400*			*1,685,400*
Middle Gate - Ventilation, HVAC Renovations	BOE-24										300,000	*300,000*
Bonding											*300,000*	*300,000*
Middle School - Window Replacements	BOE-25										1,000,000	*1,000,000*
Bonding											*1,000,000*	*1,000,000*
High School - HVAC Equipment Replacements	BOE-26										5,300,000	*5,300,000*
Bonding											*5,300,000*	*5,300,000*
Board of Education Total		4,509,894	2,500,000	4,725,000		3,782,228	10,798,360	12,601,280	9,640,700		6,600,000	*55,157,462*
Economic Development												
Clean up of 7 & 28A Glen Road	EDC - 1	200,000										*200,000*
Bonding		*200,000*										*200,000*
Clean up of 28A Glen Road	EDC - 1a		650,000									*650,000*

Department	Project #	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	'26/'27	'27/'28	'28/'29	'29/'30	'30/'31	Total
Bonding			*650,000*									*650,000*
Town Match - Grants (contingency)	EDC - 2	200,000	200,000	200,000	200,000	200,000	200,000	200,000	200,000	200,000	200,000	*2,000,000*
Other		*200,000*	*200,000*	*200,000*	*200,000*	*200,000*	*200,000*	*200,000*	*200,000*	*200,000*	*200,000*	*2,000,000*
Economic Development Total		400,000	850,000	200,000	200,000	200,000	200,000	200,000	200,000	200,000	200,000	*2,850,000*
Edmond Town Hall												
Edmond Town Hall - Parking Lot Improvements	ETH - 1		450,000									*450,000*
Bonding			*450,000*									*450,000*
Edmond Town Hall Building Renovations	ETH - 2					550,000						*550,000*
Bonding						*550,000*						*550,000*
ETH Space Revitalization/Elevator Removal	ETH - 3							550,000				*550,000*
Bonding								*550,000*				*550,000*
ETH plumbing/radiator renewal/LC access	ETH - 4								500,000			*500,000*
Bonding									*500,000*			*500,000*
Edmond Town Hall Total			450,000			550,000		550,000	500,000			*2,050,000*
Emergency Comm Ctr												
Emergency Radio System Upgrades	ECC - 1	5,041,933										*5,041,933*
Bonding		*5,041,933*										*5,041,933*
Emergency Comm Ctr Total		5,041,933										*5,041,933*
FHA												
Building remediation & demo/infrastructure	FHA-1		2,000,000	1,500,000		2,000,000	2,000,000	3,000,000				*10,500,000*
Bonding			*2,000,000*	*1,500,000*		*2,000,000*	*2,000,000*	*3,000,000*				*10,500,000*
FHA Total			2,000,000	1,500,000		2,000,000	2,000,000	3,000,000				*10,500,000*
Fire												
Replacement of Fire Apparatus	Fire - 1		450,000	1,035,000		750,000	770,000	790,000				*3,795,000*
Bonding			*450,000*	*800,000*		*750,000*	*770,000*	*790,000*				*3,560,000*
Other				*235,000*								*235,000*
New Generators and Transfer Switches	Fire - 2								240,000			*240,000*
Bonding									*240,000*			*240,000*
Dodgingtown Fire House Renovations	Fire - 3									475,000		*475,000*
Bonding										*475,000*		*475,000*
Fire Total			450,000	1,035,000		750,000	770,000	790,000	240,000	475,000		*4,510,000*

Department	Project #	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	'26/'27	'27/'28	'28/'29	'29/'30	'30/'31	Total
Library												
Library Building & Grounds Upgrades/Reno/Expansion	LIB-1	200,000	550,000	1,046,000		1,000,000		450,000				*3,246,000*
Bonding		*200,000*	*550,000*	*1,046,000*		*1,000,000*		*450,000*				*3,246,000*
Library Total		200,000	550,000	1,046,000		1,000,000		450,000				*3,246,000*
Parks & Recreation												
Treadwell Artificial Turf & Lighting Replacement	P & R - 1					800,000						*800,000*
Bonding						*250,000*						*250,000*
Other						*550,000*						*550,000*
Rail Trail - Batchelder Park	P & R - 2					1,400,000						*1,400,000*
Grants						*1,400,000*						*1,400,000*
Lake Lillinonah Park Improvements	P & R - 3			500,000								*500,000*
Other				*500,000*								*500,000*
Parks & Recreation Total				500,000		2,200,000						*2,700,000*
Public Works												
Capital Road Program	PW - 1	3,000,000	3,000,000	3,050,000	3,100,000	3,150,000	3,200,000	3,250,000	3,300,000	3,350,000	3,400,000	*31,800,000*
Bonding		*500,000*	*250,000*									*750,000*
General Fund		*2,500,000*	*2,750,000*	*3,050,000*	*3,100,000*	*3,150,000*	*3,200,000*	*3,250,000*	*3,300,000*	*3,350,000*	*3,400,000*	*31,050,000*
Bridge Replacement Program	PW - 2		400,000	400,000		400,000	400,000	400,000	400,000	400,000		*2,800,000*
Bonding			*400,000*	*400,000*		*400,000*	*400,000*	*400,000*	*400,000*	*400,000*		*2,800,000*
Multi-Purpose Building Electrical/Mechanical/HVAC	PW - 3			413,000								*413,000*
Bonding				*413,000*								*413,000*
Municipal Center - Roof Remediation & Replacement	PW - 4			1,000,000								*1,000,000*
Bonding				*1,000,000*								*1,000,000*
Truck Washing Station	PW - 5						550,000					*550,000*
Bonding							*550,000*					*550,000*
Public Works Site & Salt Storage Improvements	PW - 6						600,000					*600,000*
Bonding							*600,000*					*600,000*
Transfer Station Improvements	PW - 7						400,000					*400,000*
Bonding							*400,000*					*400,000*
Public Works Total		3,000,000	3,400,000	4,863,000	3,100,000	3,550,000	5,150,000	3,650,000	3,700,000	3,750,000	3,400,000	*37,563,000*
S.H. Permanent Memorial Comm												
Sandy Hook Permanent Memorial	FS - 1	2,000,000	2,000,000									*4,000,000*
Bonding		*2,000,000*	*2,000,000*									*4,000,000*

Department	Project #	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	'26/'27	'27/'28	'28/'29	'29/'30	'30/'31	Total
S.H. Permanent Memorial Comm Total		2,000,000	2,000,000									*4,000,000*
Water & Sewer Authority												
Fairfield Hills Water Infrastructure	226						750,000					*750,000*
Other							*750,000*					*750,000*
Water & Sewer Authority Total							750,000					*750,000*
GRAND TOTAL		15,151,827	12,200,000	13,869,000	3,300,000	14,032,228	19,668,360	21,241,280	14,280,700	4,425,000	10,200,000	*128,368,395*

Town of Newtown, Connecticut

Capital Improvement Plan

'21/'22 thru '25/'26

EXPENDITURES AND SOURCES SUMMARY

Department	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Total
Board of Education	4,509,894	2,500,000	4,725,000		3,782,228	*15,517,122*
Economic Development	400,000	850,000	200,000	200,000	200,000	*1,850,000*
Edmond Town Hall		450,000			550,000	*1,000,000*
Emergency Comm Ctr	5,041,933					*5,041,933*
FHA		2,000,000	1,500,000		2,000,000	*5,500,000*
Fire		450,000	1,035,000		750,000	*2,235,000*
Library	200,000	550,000	1,046,000		1,000,000	*2,796,000*
Parks & Recreation			500,000		2,200,000	*2,700,000*
Public Works	3,000,000	3,400,000	4,863,000	3,100,000	3,550,000	*17,913,000*
S.H. Permanent Memorial Comm	2,000,000	2,000,000				*4,000,000*
EXPENDITURE TOTAL	**15,151,827**	**12,200,000**	**13,869,000**	**3,300,000**	**14,032,228**	***58,553,055***

Source	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Total
Bonding	12,451,827	9,250,000	9,884,000		8,732,228	*40,318,055*
General Fund	2,500,000	2,750,000	3,050,000	3,100,000	3,150,000	*14,550,000*
Grants					1,400,000	*1,400,000*
Other	200,000	200,000	935,000	200,000	750,000	*2,285,000*
SOURCE TOTAL	**15,151,827**	**12,200,000**	**13,869,000**	**3,300,000**	**14,032,228**	***58,553,055***

Bonding approved in current approved CIP	13,203,933	8,287,730	8,678,812	-0-	N/A	30,170,475 not including 25/26
Difference in bonding amounts	(752,106)	962,270	1,205,188	-0-	N/A	1,415,352

FIVE YEAR PROJECT DETAIL
2021-22 TO 2025-26

Capital Improvement Plan '21/'22 *thru* '25/'26

Town of Newtown, Connecticut

Project # **BOE-01**
Project Name **Hawley - Ventilation and HVAC**

Type Building construction/renovation
Useful Life 35
Category Buildings
Department Board of Education
Contact TANYA VADAS

Description

This project will allow installation of a complete ventilation system to service the entire building. Project will include HVAC units, ductwork, controls, electrical upgrades, and other related work.

Justification

This will improve the air quality of the building by providing heating, cooling, and ventilation for the students, staff, and faculty. Due to proximity of Church Hill Rd, opening windows leads to traffic noise and poor air quality from vehicle exhaust.

Expenditures	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Planning/Design	300,000							300,000
Construction/Maintenance		1,500,000	2,500,000	4,000,000				8,000,000
Total	300,000	1,500,000	2,500,000	4,000,000				8,300,000

Funding Sources	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Bonding		1,500,000	2,500,000	4,000,000				8,000,000
Other	300,000							300,000
Total	300,000	1,500,000	2,500,000	4,000,000				8,300,000

Budget Impact/Other

Adding air conditioning will inevitably increase electricity costs to power the new equipment.
Average annual debt service = $288,000.

---EXCERPT---

Hawley Elementary School

Newtown, CT

HVAC Upgrade

Conceptual Estimate

20-Nov-20

Prepared by:
MEP Cost LLC

For:
Christopher Williams Architects, LLC

Hawley Elementary School
Newtown, CT
HVAC Upgrade

Conceptual Estimate
Gross Floor Area (sf): 54,193
Date: 20-Nov-20

Basis of Estimate

Net Floor Area:

Phase 1 - Area C - 1921 Building	16,298	sf
Phase 2 - Area B (& 1997 classrooms) - 1948 Addition	25,710	sf
Phase 3 - Area A - 1997 Addition	12,185	sf
TOTAL	**54,193**	**sf**
1921 Building Attic	*4,773*	*sf*

Information used in preparation of estimate:

Basis of Design Narrative Draft Report dated Oct. 24, 2020 by BVH Integrated Services
Photos of existing conditions provided by Christopher Williams Architects LLC
2012 Boiler Replacement project drawings
2005 HVAC Repairs drawings
Information received through emails, and in telephone discussions with BVH and CWA

Clarifications & Exclusions

Clarifications:

The estimated construction durations are:
- Phase 1: 5 months for work in the 1921 building/Area C.
- Phase 2: 5 months for work in the 1948 addition/Area B.
- Phase 3: 2 months for work in the 1997 addition/Area A.

The estimated construction start dates are:
- June, 2021 for the 1921 building/Area C.
- June, 2022 for the 1948 addition/Area B.
- As desired for the 1997 addition/Area A.

As construction is desired to be phased and possibly performed during summer and other breaks, the estimate includes a 10% phasing premium, to account for multiple mobilizations/demobilizations, possible double shift premiums, possible night and weekend work premiums, temporary services/connections/reconnections, premiums for smaller work packages, etc.

This estimate is based on the use of a VAV reheat (variable air volume) HVAC system.

The estimate is based on prevailing wage rates for construction in this market, and represents a reasonable opinion of cost. It is not a prediction of the successful low bid from a contractor as bids will vary due to fluctuating market conditions, errors and omissions, proprietary specifications, a lack of or surplus of bidders, perception of risk, etc. Consequently the estimate is expected to fall within the range of bids from a number of competitive contractors or subcontractors.

Exclusions:

Costs associated with the following items are **NOT** included in the estimate:
- code upgrades (eg: building, seismic, fire alarm, fire protection, life safety, etc).
- firesafing of any existing penetrations.
- roof warranty extension (after repairs/patching for HVAC upgrade work).
- state sales tax.
- soft costs (design fees, bldg permits, etc).

Hawley Elementary School
Newtown, CT
HVAC Upgrade

Conceptual Estimate
Gross Floor Area (sf): 54,193
Date: 20-Nov-20

EXECUTIVE SUMMARY

		Total
Phase 1 (Area C) - 1921 Building	$	3,435,245
Phase 2 (Area B) - 1948 Addition (+ 1997 Classrooms)	$	3,001,220
Phase 3 (Area A) - 1997 Addition	$	832,072
TOTAL - All Phases	**$**	**7,268,537**

CWA

CHRISTOPHER WILLIAMS ARCHITECTS LLC

Hawley School Meeting PBSC Meeting Agenda
Meeting Date **November 24, 2020**

CWA TEAM:
Christopher Williams CWA
Ilona Prosol, BVH
John Luby, Enviro-med.

1. **Testing:** Enviro-med is scheduled to perform the second IAQ study on the week of December 7, 2020, which is a postponement from the scheduled date due to distance learning.

2. **Meeting Notes, 11/3/20**: On 11/03/20, a zoom meeting was held with:

   Bob Gerbert (Town of Newtown)
   Allen Adriani (Town of Newtown)
   Christopher Williams (CWA)
   Ilona Prosol (BVH)
   Jeremy Rapoza (BVH)
   Josiah Butler (BVH)

   2.1. Items discussed:
   - 2.1.1. The Town is concerned that the VRF system will result in a series of individual units throughout the building that rely on a refrigerant that will be phased out of production in 2024, resulting in excessive refrigerant replenishment costs afterwards and possible complicated replacement work when the units become obsolete in the future.
   - 2.1.2. Design parameters were reviewed, and it was agreed that equipment should be sized per ASHRAE/IMC ventilation rates.
   - 2.1.3. The increase in ductwork size will necessitate additional suspended ceiling modifications and/or additions. The Town agreed, especially in the 1921 building that has high ceilings with poor acoustics.
   - 2.1.4. The Town reiterated the preference to design a VAV type system.
   - 2.1.5. The Town requested that a conceptual estimate be prepared by 11/6/20 for the next finance committee meeting.

3. **Conceptual Estimate no. 1, 11/6/20:**

   3.1. 11/6/20 Estimate: CWA presented an estimate totaling $6,313,595.00. This was based on a VRF system proposed by BVH. An additional Rough Order of Magnitude (ROM) cost of $1,000,00 was identified to upgrade the system to a VAV system. The additional costs would be attributed to:
   - 3.1.1. Larger ductwork required to handle the increased volume of air.
   - 3.1.2. Changing refrigerant piping to hot water supply and return piping.
   - 3.1.3. Increase in spatial requirements to accommodate larger ductwork and VAV units throughout the building.
   - 3.1.4. Increase in outdoor air, resulting in additional louvers.
   - 3.1.5. Additional suspended ceilings being removed/replaced and added throughout the building.

4. **Meeting Notes, 11/13/20**: On 11/03/20, a zoom meeting was held with:

   Bob Gerbert (Town of Newtown)
   Allen Adriani (Town of Newtown)

Gordon Johnson (Town of Newtown)
Christopher Williams (CWA)
Ilona Prosol (BVH)
Jeremy Rapoza (BVH)

4.1. Items Discussed:
- 4.1.1. Budget: The $6.3 - $7.3 million estimate exceeds the Town's initial $4.1 Million estimate.
- 4.1.2. The Town will consider phasing the project into three phases roughly reflecting the vintage of each building wing-1921, 1948 and 1997.
- 4.1.3. The design team expressed concern over phasing and performing the work during school breaks, which would be 2 months during the summer and a few weeks during the school year. The work cannot reasonably be completed in those time periods, especially if a more extensive ducted system is deployed. The town needs to develop temporary plans for the classes held in the affected rooms.
- 4.1.4. The design team recommends that the Town engage a Construction Manager/Owner's Rep who can assist in developing logistic plans, identify swing spaces, develop independent cost estimates and offer funding/budgeting guidance on ancillary but necessary non-construction expenses.
- 4.1.5. The design team was asked to develop a phased Conceptual Estimate by 11/20/20.

5. **Conceptual Estimate no. 2, 11/20/20:**
   - 5.1. The attached Conceptual Estimate is divided into 3 phases totaling $7,268,537.00.
   - 5.2. In addition to the estimate, attached are phasing floor plans:
     - 5.2.1. Phase 1: 1921 Building
     - 5.2.2. Phase 2: 1948 Building and part of the 1995 Building. The central corridor of the 1948 building extends into the 1995 building and including it with the 1948 building is a logical choice. The 1995 lobby/corridor that extends beyond the classrooms would not be included in phase 2, so corridor bi-directional doors may be considered to keep the atmospheres separate.
     - 5.2.3. Phase 3: Replacing/upgrading the 1995 building Rooftop units, including extending the system into Science Classroom M100 and the lobby/corridor.

6. **Design Progress:** The design team has developed progress plans sufficient for the cost estimator to develop the attached budget. Between actual drawings, take-offs from the BIM model, narratives and discussions, the scope is sufficiently captured in the budget. As with most conceptual budgets, some items may be high in cost and some low but will level off as the accuracy of design and pricing increases.
   - 6.1. To move forward into Design Development, the design team needs direction on the budget from the Town.

Attachments as Separate Files:
Conceptual Estimate, dated 20-Nov-20 prepared by MEP Cost LLC
G001-Phasing Plans-dated 11.20.20 prepared by CWA
Progress Drawing Set-dated 11.20.20 by CWA and BVH

Hawley Elementary School
HVAC Improvements

-Split project into separate phases
    Phase I – 1921 Section
    Phase II – 1948 Section

-Phase I work scope
    -Perform work using current funding on CIP
    -Ducted VAV air distribution for 1921 portion of building
    -Electrical service upgrade to facilitate Phase I and Phase II work
    -Ceiling/lighting in classrooms, hallways, etc.
    -HVAC controls
-Phase II work scope
    -Add project/funding to CIP in 2021 for FY 2024/25
    -Ducted VAV air distribution for 1948 portion of building
    -Ceiling/lighting in classrooms, hallways, etc.

-Phase I work split into two summers 2021 & 2022

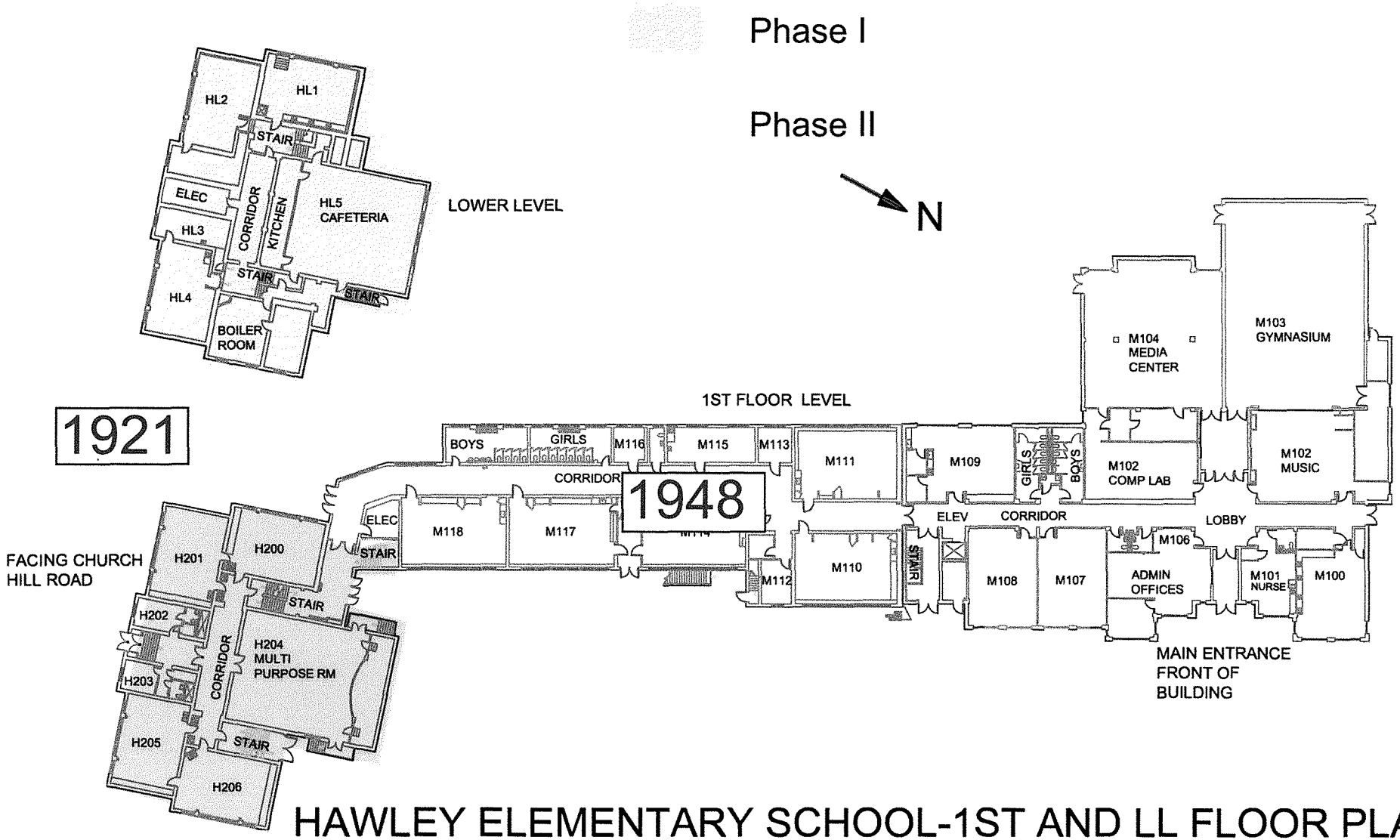
Summer 2021
-Electric service upgrade
-Hazmat abatement
-HVAC unit prep work (i.e equipment pads)
-Structural modifications/prep work
-Roofing modification/prep work

Summer 2022
-HVAC unit installation
-Ductwork/VAV installation
-Heating pipe installation
-Ceiling/lighting installation

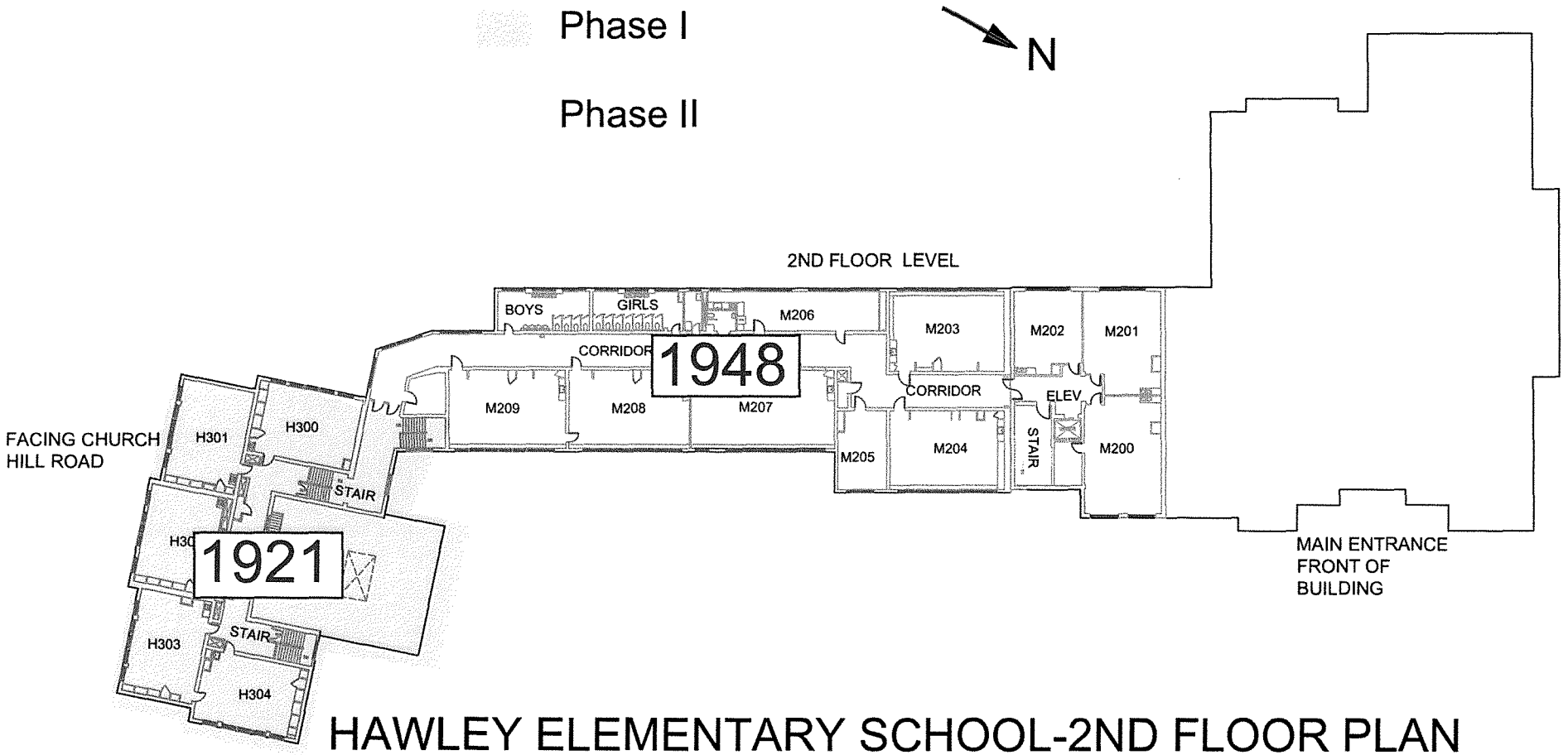
-Phase II work

Summer 2023
-HVAC unit prep work (roof curbs)
-Structural modifications/prep work
-Roofing modifications/prep work
-Hazmat abatement

Summer 2024
-HVAC unit installation
-Ductwork/VAV installation
-Heating pipe installation
-Ceiling/lighting installation



HAWLEY ELEMENTARY SCHOOL-1ST AND LL FLOOR PLAN



HAWLEY ELEMENTARY SCHOOL-2ND FLOOR PLAN

Capital Improvement Plan '21/'22 *thru* '25/'26

Town of Newtown, Connecticut

Project # **BOE-02**
Project Name **High School - Replace / Restore Stadium Turf**

Type Land Improvements
Useful Life 10
Category Land Improvements
Department Board of Education
Contact TANYA VADAS

Description

This project will replace the turf field and track for the High School stadium. Current turf is 11 years old and is approaching the end of its useful life.

Justification

Turf and track will be at the end of its useful life in 21/22 and is a potential safety issue.

Expenditures	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Construction/Maintenance		795,000						795,000
Total		795,000						795,000

Funding Sources	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Bonding		795,000						795,000
Total		795,000						795,000

Budget Impact/Other

Negligible impact as the new turf and track will require the same ongoing maintenance as existing turf and track.
Average annual debt service = $50,500.

Project # **BOE-03**
Project Name **Reed - Install Gas Boiler / LED Lighting**

Type Equipment Purchases
Useful Life
Category Equipment
Department Board of Education
Contact TANYA VADAS

Description

This project will include replacement of existing boilers with new high-efficiency condensing boilers and upgrade of all building light fixtures to LED. This qualifies for utility rebates offered from Eversource. Project will include boilers, pumps, VFDs, and LED lighting.

Justification

Existing boilers are approaching their useful life. New boilers will improve energy efficiency. New lighting will also improve energy efficiency.

Expenditures	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Construction/Maintenance		1,539,894						1,539,894
Total		1,539,894						1,539,894

Funding Sources	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Bonding		1,539,894						1,539,894
Total		1,539,894						1,539,894

Budget Impact/Other

Condensing gas boilers will offer savings from reduced natural gas consumption. LED lights will reduce electricity costs due to greater efficiency and also result in less maintenance.
Average annual debt service = $98,000 (without considering the energy rebate)

Capital Improvement Plan '21/'22 *thru* '25/'26

Town of Newtown, Connecticut

Project # **BOE-04**
Project Name **Middle School HVAC**

Type Building construction/renovation
Useful Life 20
Category Buildings
Department Board of Education
Contact TANYA VADAS

Description

This project will include the installation of ducted ventilation systems, replacement of existing HVAC units, and installation of new HVAC to key areas of the building (i.e. Auditorium, Cafeteria).

Justification

New HVAC units and ventilation system will improve indoor air quality. Existing HVAC units have exceeded their useful life.

Expenditures	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Planning/Design				300,000				300,000
Construction/Maintenance						3,782,228		3,782,228
Total				300,000		3,782,228		4,082,228

Funding Sources	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Bonding				300,000		3,782,228		4,082,228
Total				300,000		3,782,228		4,082,228

Budget Impact/Other

Replacement of existing HVAC units should reduce electricity and maintenance costs as new equipment is more energy efficient and not require persistent repairs.
Average annual debt service = $261,000.

Project # **BOE-05**
Project Name **Head O'Meadow - Boiler Plant**

Type Building construction/renovation
Useful Life 20
Category Buildings
Department Board of Education
Contact

Description

This project will include the replacement of existing heating equipment in the boiler plant to include boilers, pumps, VFDs, and water heaters.

Justification

The controls, drives and pumps are old technology and inefficient.

Expenditures	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Construction/Maintenance				425,000				425,000
Total				425,000				425,000

Funding Sources	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Bonding				425,000				425,000
Total				425,000				425,000

Budget Impact/Other

Average annual debt service = $33,000

Project # **BOE-05B**
Project Name **Head O'Meadow - Lighting**

Type Building construction/renovation
Useful Life
Category Equipment
Department Board of Education
Contact

Description

Light fixtures throughout the building will be upgrade to LED.

Justification

A complete retrofit of all existing lighting from fluorescent to LED will ensure continued operation and a tremendous financial and energy savings.

Expenditures	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Construction/Maintenance		425,000						425,000
Total		425,000						425,000

Funding Sources	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Bonding		425,000						425,000
Total		425,000						425,000

Budget Impact/Other

Average annual debt service = $33,000

Capital Improvement Plan '21/'22 *thru* '25/'26

Town of Newtown, Connecticut

Project # **BOE-06**
Project Name **Hawley - New Generator**

Type Equipment Purchases
Useful Life 10
Category Equipment

Department Board of Education
Contact TANYA VADAS

Description

This project will install an emergency generator at the Hawley school

Justification

This is currently the only school without a generator.

Expenditures	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Equip/Vehicles/Furnishings		250,000						250,000
Total		250,000						250,000

Funding Sources	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Bonding		250,000						250,000
Total		250,000						250,000

Budget Impact/Other

There would be a modest increase in fuel to operate the generator.
Average annual debt service amount = $67,000

Project # **EDC - 1**
Project Name **Clean up of 7 & 28A Glen Road**

Type Land Improvements
Useful Life 50
Category Land Improvements
Department Economic Development
Contact Christal Preszler, Deputy Dir, Eco

Description

7 Glen Road and 28A Glen Road - Cleanup, oversight and assessment/removal of miscellaneous hazardous and non-hazardous materials on these and other town owned properties.

Justification

Clean up town property to remove blight and improve safety, with the goal of eventually getting onto the tax rolls.

Expenditures	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Other		200,000						200,000
Total		200,000						200,000

Funding Sources	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Bonding		200,000						200,000
Total		200,000						200,000

Capital Improvement Plan '21/'22 *thru* '25/'26

Town of Newtown, Connecticut

Project # **EDC - 1a**
Project Name **Clean up of 28A Glen Road**

Type Land Improvements
Useful Life 50
Category Land Improvements
Department Economic Development
Contact Christal Preszler, Deputy Dir, Eco

Description

28A Glen Road is located in the heart of Sandy Hook Village. The property, obtained by the town via tax foreclosure, contains multiple structures. Remediation of hazardous materials is necessary in both structures and soil. Demolition cost of structures is also included in this estimate. As with most remediation projects, the Hazardous Building Materials Assessment and Phase I and Phase II reports are the basis of project cost estimates. In this situation, the reports named high and low cost estimates. The money being requested here is an average of the high and low estimates, less the $200,000 for Project # EDC - 1 in '21 - '22.

Justification

Expenditures	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Other			650,000					650,000
Total			650,000					650,000

Funding Sources	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Bonding			650,000					650,000
Total			650,000					650,000

Budget Impact/Other

As with most remediation projects, the Hazardous Building Materials Assessment and Phase I and Phase II reports are the basis of project cost estimates. In this situation, the reports named high and low cost estimates. The money being requested here is an average of the high and low estimates, less the $200,000 for Project # EDC - 1 in '21 - '22.

Project # EDC - 2
Project Name Town Match - Grants (contingency)

Type Unassigned
Useful Life
Category Unassigned

Department Economic Development
Contact Christal Preszler, Deputy Dir, Eco

Description

EDC is continually looking for grants to remediate buildings, soil and support economic development in town. Most grants will include a town match. The amounts reflected are contingencies.

Justification

Need to demonstrate the towns commitment to match grants.

Expenditures	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Other		200,000	200,000	200,000	200,000	200,000	1,000,000	2,000,000
Total		200,000	200,000	200,000	200,000	200,000	1,000,000	2,000,000

Funding Sources	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Other		200,000	200,000	200,000	200,000	200,000	1,000,000	2,000,000
Total		200,000	200,000	200,000	200,000	200,000	1,000,000	2,000,000

Budget Impact/Other

Annual debt service amount = $13,500 (for each $200,000)

Project # ETH - 1
Project Name Edmond Town Hall - Parking Lot Improvements

Type Land Improvements
Useful Life 25
Category Land Improvements
Department Edmond Town Hall
Contact Margot S. Hall, Chairman

Description

Repair current parking lot to provide safe, well lit space for parking and security cameras for users and events. Install lighting, cameras and improve use and maintenance by providing access to water and power. Improve pedestrian walkways, traffic pattern, signage, additional spaces, including handicapped parking, better grading. Demolish firehouse but keep lean to if possible for dumpster enclosure. Increase parking spaces, both regular and handicapped. Provide parking spaces marked with letters for sections to make directing parking easier. Install security cameras at entrance, exits and in rear of lot especially. Provide a water source and heavy duty electric outlets for maintenance and events . Provide maintenance-free landscaping on the hilly areas to improve visibility and safety. Provide improved signage for cars and pedestrians. Install rumble strips on entry and exit driveways to slow down cars entering and exiting. Improve grading near handicap entry to avoid ice build ups. Increase number of handicap spaces as close to building as possible. Add small cement ramp to the south side door step and a push button to enable handicapped to use that entrance. Provide clearly marked pedestrian walkways. Install maintenance-free landscaping around perimeter, hilly areas and border to improve security.

Justification

Current parking lot has old patched pavement covering hollow areas that can collapse underfoot. Lot use in greater demand not only by patrons, but also large commercial vehicles including Town, Eversource, vendors and others. Traffic pattern was based on firehouse needs, which are no longer necessary. Lot needs improved signage, delineated walkways, better use physically impaired building users.

Expenditures	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Construction/Maintenance			450,000					450,000
Total			450,000					450,000

Funding Sources	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Bonding			450,000					450,000
Total			450,000					450,000

Budget Impact/Other

Average annual debt service amount = $30,400.

Project # ETH - 2
Project Name Edmond Town Hall Building Renovations

Type Building construction/renovation
Useful Life 35
Category Buildings
Department Edmond Town Hall
Contact Margot S. Hall, Chairman

Description

Install kitchennette under stairs in gym with sink, undercounter ice maker, large refrigerator. This locks when not in use. Tall warming ovens. Components are individual and easy to repair/replace. Replace toilets and sinks. Install removable platform for concerts, special events. Renovate storage closet for ease of use by renters and staff when storing care equipment. Install blinds that can be changed remotely to cover all windows as needed based on event. Install retractable screen for presentations. Install large AC window units in the space that used to house the ventilators. This would be for use during very hot days. Install speakers/P.A. system for events and sports.

Justification

As the most revenue-generating rental, the gym needs to be revitalized in oder to keep this 5000 square foot space attractive to renters and to expand its use. It can serve the community much better with a few key adds.

Expenditures	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Construction/Maintenance						550,000		550,000
Total						550,000		550,000

Funding Sources	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Bonding						550,000		550,000
Total						550,000		550,000

Budget Impact/Other

Less maintenance expenses and additional revenue.

Project # ECC - 1
Project Name Emergency Radio System Upgrades

Type Equipment Purchases
Useful Life 10
Category Equipment
Department Emergency Comm Ctr
Contact Maureen Will, ECC Director

Description

The current Newtown Public Safety communications systems are no longer supported and are at "end of life". This system replacement is critical to ensure first responders are dispatched and supported in the field while performing their duties in support of the residents of Newtown. See attached report.

Note: Total CIP amount is $7,541,933 (over two years - 2020-21 & 2021-22). A bonding resolution was approved for $2,500,000 on 5/6/2020.

Justification

Equipment have reached their useful life

Expenditures	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Other	2,500,000	5,041,933						7,541,933
Total	2,500,000	5,041,933						7,541,933

Funding Sources	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Bonding	2,500,000	5,041,933						7,541,933
Total	2,500,000	5,041,933						7,541,933

Budget Impact/Other

Average annual debt service for total project = $510,000. Maintenance agreement will increase in cost ("life cycle planning")

Project # **FHA-1**
Project Name **Building remediation & demo/infrastructure**

Type Land Improvements
Useful Life
Category Buildings
Department FHA
Contact

Description

Activities in support of building assessment; mothballing; safety enhancements; renovation; remediation; demolition & campus infrastructure (Ex: Water distribution upgrades).
Possible projects: Infrastructure - $750,000; Norwalk - $1,000,000; Stamford - $1,000,000; Shelton - $1,800,000; Duplex mothball - $608,000; Newtown Hall mothball - $821,000; Cochran remediation - $679,000, Kent - $4,000,000, etc.

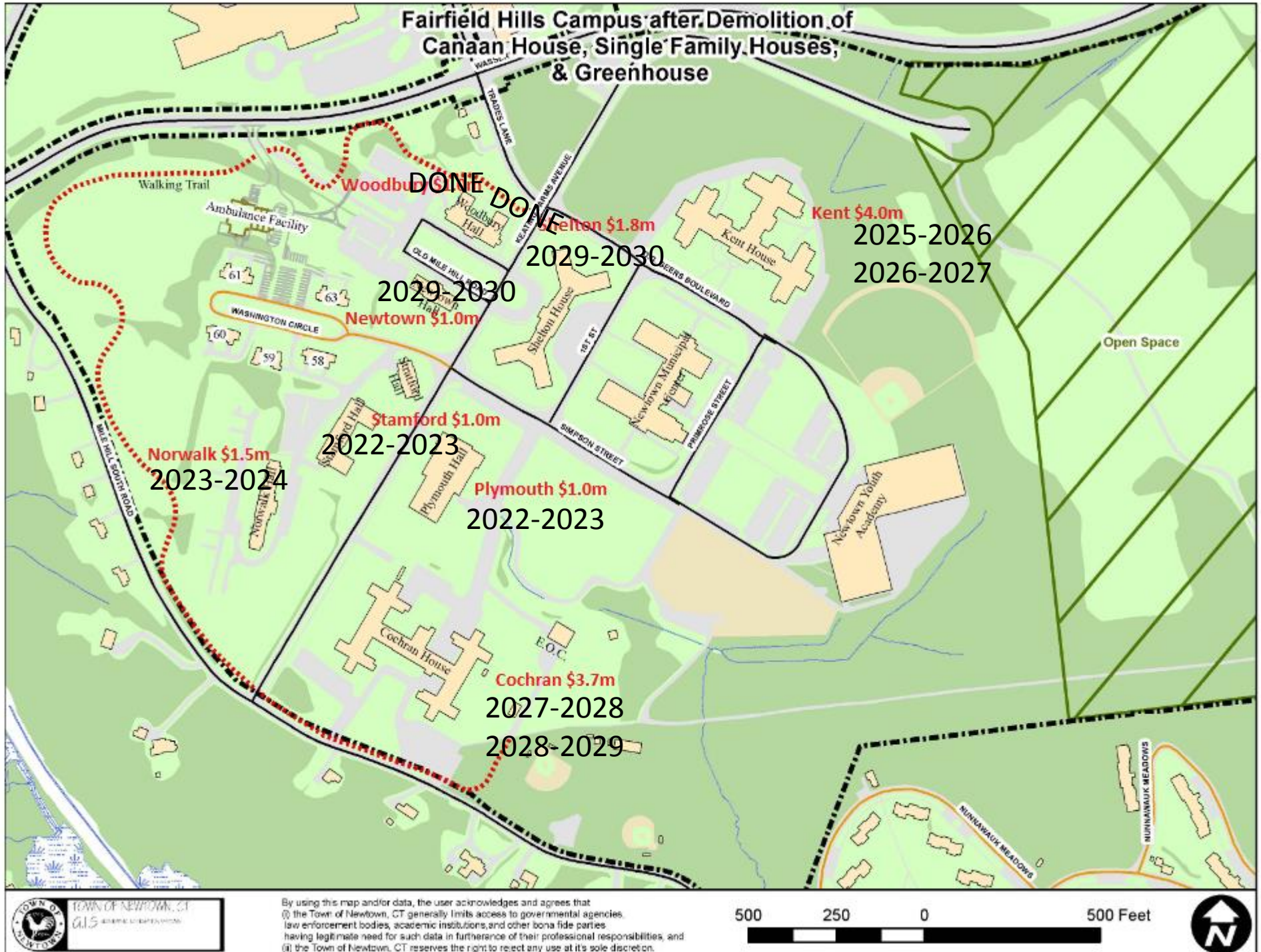
Justification

Expenditures	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Other			2,000,000	1,500,000		2,000,000	5,000,000	10,500,000
Total			2,000,000	1,500,000		2,000,000	5,000,000	10,500,000

Funding Sources	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Bonding			2,000,000	1,500,000		2,000,000	5,000,000	10,500,000
Total			2,000,000	1,500,000		2,000,000	5,000,000	10,500,000

Budget Impact/Other

Average annual debt service for $3,500,000 = $237,000


Fairfield Hills Campus after Demolition of
Canaan House, Single Family Houses,
& Greenhouse
Walking Trail
Ambulance Facility
Woodbury Hall
DONE
DONE
Shelton $1.8m
2029-2030
Kent $4.0m
2025-2026
2026-2027
Kent House
Shelton House
2029-2030
Newtown $1.0m
WASHINGTON CIRCLE
Open Space
Stamford $1.0m
2022-2023
Norwalk $1.5m
2023-2024
Plymouth $1.0m
2022-2023
Plymouth Hall
Cochran House
E.O.C.
Cochran $3.7m
2027-2028
2028-2029
Newtown Youth Academy
NUNNAWAUK MEADOWS
TRADES LANE
KEARNEY ARMS AVENUE
QUEENS BOULEVARD
1ST ST
PRIMROSE STREET
SIMPSON STREET
MILE HILL SOUTH ROAD
TOWN OF NEWTOWN, CT
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By using this map and/or data, the user acknowledges and agrees that
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Conceptual

Capital Improvement Plan '21/'22 *thru* '25/'26

Town of Newtown, Connecticut

Project # **Fire - 1**
Project Name **Replacement of Fire Apparatus**

Type Equipment Purchases
Useful Life 20
Category Vehicles
Department Fire
Contact Pat Reilly, Chairman, Board of Fi

Description

Scheduled replacement:

2022-23: Replacement (used) of Sandy Hook ladder truck which is 33 years old.
2023-24: Replacement of Sandy Hook tanker which will be 25 years old ($585,000) & refurbishment of Newtown Hook & Ladder ladder truck which will be 26 years old ($450,000).
2025-26: Replace Hawleyville engine truck which will be 25 years old ($750,000).
2026-27: Replace Sandy Hook engine truck which will be 24 years old ($770,000).
2027-28; Replace Botsford engine truck whick will be 25 years old ($790,000).

Justification

Scheduled replacement of existing fire apparatus due to their age. They will have reached their useful life and have become too costly to repair.

Expenditures	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Equip/Vehicles/Furnishings			450,000	1,035,000		750,000	1,560,000	3,795,000
Total			450,000	1,035,000		750,000	1,560,000	3,795,000

Funding Sources	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Bonding			450,000	800,000		750,000	1,560,000	3,560,000
Other				235,000				235,000
Total			450,000	1,035,000		750,000	1,560,000	3,795,000

Budget Impact/Other

There is no measurable operating budget impact relating to this project. Equipment maintenance expenditures will decrease for the Fire Commission. This will help keep down the annual budget requests of the Fire Commission.
Average annual debt service for $1,335,000 = $90,000.

Project # LIB-1
Project Name **Library Building & Grounds Upgrades/Reno/Expansion**

Type Building construction/renovation
Useful Life
Category Buildings
Department Library
Contact Amy Dent, President, Board of Tr

Description

PLEASE SEE ATTACHED DESCRIPTION

Justification

SEE ATTACHED

Expenditures	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Construction/Maintenance		200,000	550,000	1,046,000		1,000,000	450,000	3,246,000
Total		200,000	550,000	1,046,000		1,000,000	450,000	3,246,000

Funding Sources	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Bonding		200,000	550,000	1,046,000		1,000,000	450,000	3,246,000
Total		200,000	550,000	1,046,000		1,000,000	450,000	3,246,000

Budget Impact/Other

(1) Reduce maintenance and operating costs; ensure reliable HVAC performance.
(2) Organize space to provide improved community access.

LIBRARY 2020-21 CIP REQUEST DETAIL:

2021-22

LIBRARY IMPROVEMENTS PROJECT - $200,000

- Space Planning & Development Phase 3 - $200,000

Description:
Long Range Space Planning and Development Phase 3: Reconstruct, realign and retrofit the Library's respective departments and study areas according to plan established by long-range planning.
Justification:
Long Range Space Planning & Development Phase 3 concludes building security, on ground floor, improves entry to upper floors, improves building rear entrance and improves ADA access to facility. These improvements are the result of extensive studies done in the long-term planning done by the Board of Trustees to keep the library an essential part of the community's range of services. Signage to direct patrons inside the library is rudimentary; signage outside the library is practically nonexistent.

2022-23

LIBRARY IMPROVEMENTS PROJECT - $550,000

- Comprehensive HVAC upgrades - $430,000

Description:
Replace the existing heating & cooling perimeter fan coil units throughout the rear building (date from 1997); existing cooling plant chambers and heat exchanger, (entire assembly). Reuse the existing chiller pumps and previously replaced through an earlier CIP project; Replace the existing gas fired steam boiler and heat that serves the entire facility.
Justification:
The library's existing fan coil units are beginning to fail due to internal clogging of the operating valves and up in the control valves and heating / cooling coils. Replacing these perimeter units will increase the efficiency of system and lower utility cost substantially. While the replacement of the chiller pumps & controls were addressed, Chilled water tower (plant) is original to the building (1997). The cooling coils, piping and mechanical valves have maintained regularly but preventive maintenance on this equipment has increased with valves and controls failing more frequently. The increased efficiency will lower electrical power consumption and operating costs. HVAC system was refurbished in 1997 when the rear building was erected. Without having a chemically treated water the heating & cooling system piping and heating / cooling equipment have become clogged, causing valves and to fail. With the efficiency and upgrades done to the heating system will lower utility costs by 15-20% during the season. Chiller plant, fan coil units, and HVAC boiler / heat exchanger are estimated to be at the end of their useful life and replacement is urgent.

- Slate Roof, Gutters & Downspout Replacement - $120,000

Description:
Replacement of the existing slate shingled roof of the Original building located on Main Street. A new slate or approved composite roof shingle on the original building on Main Street. The project includes replacement of the gutters, down spouts & flashing as needed.
Justification:
The existing slate roof, flashing, integral gutters and down spouts are original to the 1932 structure.

2023-24

LIBRARY IMPROVEMENTS PROJECT - $650,000

- Repave parking lot; replace sidewalks - $135,000

Description:
Completely repave parking lot with new asphalt down to substrate.
Justification:
Existing parking lot paving and patches date from all eras of library and show signs of end of-life. Significant safety hazards exist in parking lot and the seasonal wear and tear of plowing has destroyed curbing. Rainfall erodes aspects of parking lot each year. Sidewalks are significantly worn, spalled, uneven, and increasingly unsafe. Sidewalks present safety hazards, show significant spalling and other age-related damage, including frost heaves. The sidewalks are at 30+ years of age at this time.

- Meeting Space Re-envisioning - $15,000

Description:
Refurbish and upgrade meeting rooms to accommodate needs of patrons and small businesses to provide timely, helpful, modern facilities.
Justification:
The library is in a unique position to leverage relatively low cost facilities for the purpose of supporting local small businesses which need meeting space, infrastructure, programming and responsive professionals. This project provides space for small businesses to thrive and grow the local economy.

- LED lighting, Exterior storage - $100,000

Description:
Upgrades including but not limited to construction of additional exterior storage facility and internal LED lighting.
Justification:
Switching internal library lighting to LED will provide a significant amount of energy savings and cost reductions for many years to come. Exterior storage is needed to house equipment and property that is currently poorly cared for. The library's sole storage space is a partially climate-controlled attic; much material and equipment can be relocated for significant time savings in retrieval and also enable preservation for important stored material that includes much culturally significant objects and artifacts a longer life.

- Building upgrades incl. restrooms, flooring - $200,000

Description:
Building upgrades, including but not limited to flooring as needed (e.g., carpeting, tile), bathroom upgrades, and signage specific to the interior and exterior of the facility.
Justification:
Six public restrooms including the Children's Department and main floor and upper level of facility date from the 1998 addition; ADA compliance and universal design elements are important components of attracting patrons of all ages and abilities to the library and keeping the facility safe, welcoming and comfortable. Carpeting and flooring in public areas is significantly degraded and shows signs of end-of-life. This upgrade also implements self-service options on ground floor, enhancing the facility's usefulness outside normal operating hours.

2022-23
LIBRARY IMPROVEMENTS PROJECT - $650,000 – **CONTINUED**

- Study rooms / Flexible space / Office incubator - $100,000

Description:
Reconstruct, realign and retrofit the Library's respective departments and study areas, established through long term planning. Includes flexible office space on upper floor, office incubator space(s) on upper floors, study rooms to be considered for all public areas of the library.
Justification:
The library continues to position itself as the primary source for partnerships with community groups of all kinds and seeks to emphasize and cement its role as one that fosters and supports successful local enterprises in terms of economic development of small businesses and firms.

- Window replacements - $100,000

Description:
Windows in both eras of construction are original (1932 and 1998) and many are at the end of their lifespan. This phase completes urgent/critical repair projects begun in 2017-18.
Justification:
Repairs and upgrades to cracked and worn windows and components to include repainting and /or repointing and complete structural repairs. Both the Borough and the Historical Society will be consulted for Main Street aspects.

Project # P & R - 1
Project Name Treadwell Artificial Turf & Lighting Replacement

Type Park Improvements
Useful Life 10
Category Land Improvements
Department Parks & Recreation
Contact AMY MANGOLD, DIRECTOR

Description

Replace artificial turf, regrade subsurface as needed. Artificial fields require replacement every 10-12 years.
Replace 30 plus year old lamps with LED technology replace antiquated controllers, current lights and controllers are at the end of their service life.

Justification

At the end of assets useful life.

Expenditures	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Other						800,000		800,000
Total						800,000		800,000

Funding Sources	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Bonding						250,000		250,000
Other						550,000		550,000
Total						800,000		800,000

Budget Impact/Other

Capital Improvement Plan '21/'22 *thru* '25/'26

Town of Newtown, Connecticut

Project # **P & R - 2**
Project Name **Rail Trail - Batchelder Park**

Type Land Improvements
Useful Life 35
Category Land Improvements
Department Parks & Recreation
Contact AMY MANGOLD, DIRECTOR

Description

Remove and clear old rail bed and convert to urban trail.

Justification

This project has been examined, requested and desired for over a decade. The brownfield contaminated area of Batchelder has not allowed any movement into Newtown from the Trumbull/Monroe rail area.
A trail committee and the new initiatives in town, AARP, Healthy and Sustainable initiatives all identify this project as a large benefit to their initiatives in the Newtown community and surrounding communities.

Expenditures	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Other						1,400,000		1,400,000
Total						1,400,000		1,400,000

Funding Sources	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Grants						1,400,000		1,400,000
Total						1,400,000		1,400,000

Budget Impact/Other

Project # P & R - 3
Project Name Lake Lillinonah Park Improvements

Type Land Improvements
Useful Life 25
Category Land Improvements
Department Parks & Recreation
Contact AMY MANGOLD, DIRECTOR

Description

Resurface parking lot, repair failing boat ramp, provide boat dockage and enlarged picnic area with pavilion.

Justification

Provide enhanced waterfront experience for those wishing to use lake Lillinonah and to offer slips to those waiting for slips at Eichler's Cove due to capacity. Revenue potential with pavilion, boat slips and potential gas dock.

Expenditures	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Construction/Maintenance				500,000				500,000
Total				500,000				500,000

Funding Sources	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Other				500,000				500,000
Total				500,000				500,000

Budget Impact/Other

Capital Improvement Plan '21/'22 *thru* '25/'26

Town of Newtown, Connecticut

Project # **PW - 1**
Project Name **Capital Road Program**

Type Road Improvements
Useful Life 20
Category Infrastructure
Department Public Works
Contact FRED HURLEY, DIRECTOR O

Description

Complete reconstruction of aging roads.

The list of roads for each fiscal year is developed in May/June prior to the new fiscal year.

Justification

Maintain road system for safe passage of the public.

Expenditures	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Construction/Maintenance		3,000,000	3,000,000	3,050,000	3,100,000	3,150,000	16,500,000	31,800,000
Total		3,000,000	3,000,000	3,050,000	3,100,000	3,150,000	16,500,000	31,800,000

Funding Sources	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Bonding		500,000	250,000					750,000
General Fund		2,500,000	2,750,000	3,050,000	3,100,000	3,150,000	16,500,000	31,050,000
Total		3,000,000	3,000,000	3,050,000	3,100,000	3,150,000	16,500,000	31,800,000

Budget Impact/Other

The budget impact is that the road maintenance costs will be stable. The roads that are improved or replaced cost less to maintain, the roads we don't improve or replace cost more to maintain. So the recommended amounts we invest into roads enable us to have stable maintenance costs.
Average annual debt service cost on $1,500,000 = $101,000.

Project # PW - 2
Project Name Bridge Replacement Program

Type Road Improvements
Useful Life 50
Category Infrastructure
Department Public Works
Contact FRED HURLEY, DIRECTOR O

Description

Bridge replacement program.

Planned annual amounts, once approved, will be placed in the capital projects fund in the bridge replacement line item. Bridges will be replaced one by one.

Justification

Public safety

Expenditures	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Construction/Maintenance			400,000	400,000		400,000	1,600,000	2,800,000
Total			400,000	400,000		400,000	1,600,000	2,800,000

Funding Sources	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Bonding			400,000	400,000		400,000	1,600,000	2,800,000
Total			400,000	400,000		400,000	1,600,000	2,800,000

Budget Impact/Other

The budget impact of replacing a bridge (at the right time) is that we avoid large maintenance costs.
Average annual debt service cost on $400,000 = $27,000.

Capital Improvement Plan '21/'22 *thru* '25/'26

Town of Newtown, Connecticut

Project # **PW - 3**
Project Name **Multi-Purpose Building Electrical/Mechanical/HVAC**

Type Building construction/renovation
Useful Life 25
Category Buildings
Department Public Works
Contact FRED HURLEY, DIRECTOR O

Description

This facility was constructed in 1978, with several additions but no general overhaul and updating of the entire heating, ventilating and air conditioning systems (HVAC), electrical and other mechanical systems since then.

Justification

Improvements need to be made due to the age of the building

Expenditures	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Construction/Maintenance				413,000				413,000
Total				413,000				413,000

Funding Sources	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Bonding				413,000				413,000
Total				413,000				413,000

Budget Impact/Other

Less maintenance costs
Average annual debt service cost = $28,000.

Project # PW - 4
Project Name Municipal Center - Roof Remediation & Replacement

Type Building construction/renovation
Useful Life 35
Category Buildings
Department Public Works
Contact FRED HURLEY, DIRECTOR O

Description

Roof remediation and replacement at the Municipal Center. Includes cupola repair & remediation of transite tiles.

Justification

Roof is reaching its useful life

Expenditures	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Construction/Maintenance				1,000,000				1,000,000
Total				1,000,000				1,000,000

Funding Sources	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Bonding				1,000,000				1,000,000
Total				1,000,000				1,000,000

Budget Impact/Other

Average annual debt service cost = $67,000.

Project # FS - 1
Project Name Sandy Hook Permanent Memorial

Type Unassigned
Useful Life 25
Category Unassigned
Department S.H. Permanent Memorial Comm
Contact

Description

A place holder for the Sandy Hook Permanent Memorial

Justification

Expenditures	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Other		2,000,000	2,000,000					4,000,000
Total		2,000,000	2,000,000					4,000,000

Funding Sources	Prior	'21/'22	'22/'23	'23/'24	'24/'25	'25/'26	Future	Total
Bonding		2,000,000	2,000,000					4,000,000
Total		2,000,000	2,000,000					4,000,000

Budget Impact/Other

Average annual debt service on $4,000,000 = $270,000.

TOWN OF NEWTOWN 2021-2022 CIP FIVE YEAR FORECAST

		current yr	2021-22 TO 2025-26 CIP									
		2020-2021	**2021 - 2022**	**2022- 2023**	**2023 - 2024**	**2024 - 2025**	**2025 - 2026**					
	Current	*Planned*	Forecasted	Forecasted	Forecasted	Forecasted	Forecasted	Total Est.				
Fiscal	Debt	*2020 Bond*	2021 Bond	2022 Bond	2023 Bond	2024 Bond	2025 Bond	Debt Service				Debt
Years	Service	*Issue*	Issue	Issue	Issue	Issue	Issue	Fiscal Year		Forcasted		Service
Ending	Schedule	*(03/15/2021)*	(03/15/2022)	(03/15/2023)	(03/15/2024)	(03/15/2025)	(03/15/2026)	Total		Debt	General Fund	as a % of
										Total	Budget	Budget
PRINCIPAL AMOUNT>>>		8,000,000	12,450,000	9,250,000	9,885,000	-	8,730,000	40,315,000	←	**FIVE YEAR BORROWING AMOUNT**		
06/30/2021	9,555,465							9,555,465		-	121,626,535	7.86%
06/30/2022	9,670,107	200,000						9,770,107		200,000	124,059,066	7.88%
06/30/2023	8,656,134	620,000	954,925					10,031,059		1,574,925	126,540,247	7.93%
06/30/2024	8,816,039	609,500	938,363	719,000				10,382,902		2,266,863	129,071,052	8.04%
06/30/2025	8,006,604	599,000	921,800	706,120	786,608			10,720,132		3,013,528	131,652,473	8.14%
06/30/2026	7,389,504	588,500	905,238	693,240	772,005	-		10,348,487		2,958,983	134,285,522	7.71%
06/30/2027	6,715,931	578,000	888,675	680,360	757,403	-	718,725	10,339,094		3,623,163	136,971,233	7.55%
06/30/2028	5,786,003	572,500	872,113	667,480	742,800	-	704,588	9,345,483		3,559,480	139,710,658	6.69%
06/30/2029	4,963,870	561,875	855,550	664,600	728,198	-	690,450	8,464,543		3,500,673	142,504,871	5.94%
06/30/2030	4,759,995	551,250	838,988	651,440	713,595	-	676,313	8,191,580		3,431,585	145,354,968	5.64%
06/30/2031	4,632,337	540,625	822,425	638,280	698,993	-	662,175	7,994,835		3,362,498	148,262,067	5.39%

premium applied from debt service fund.

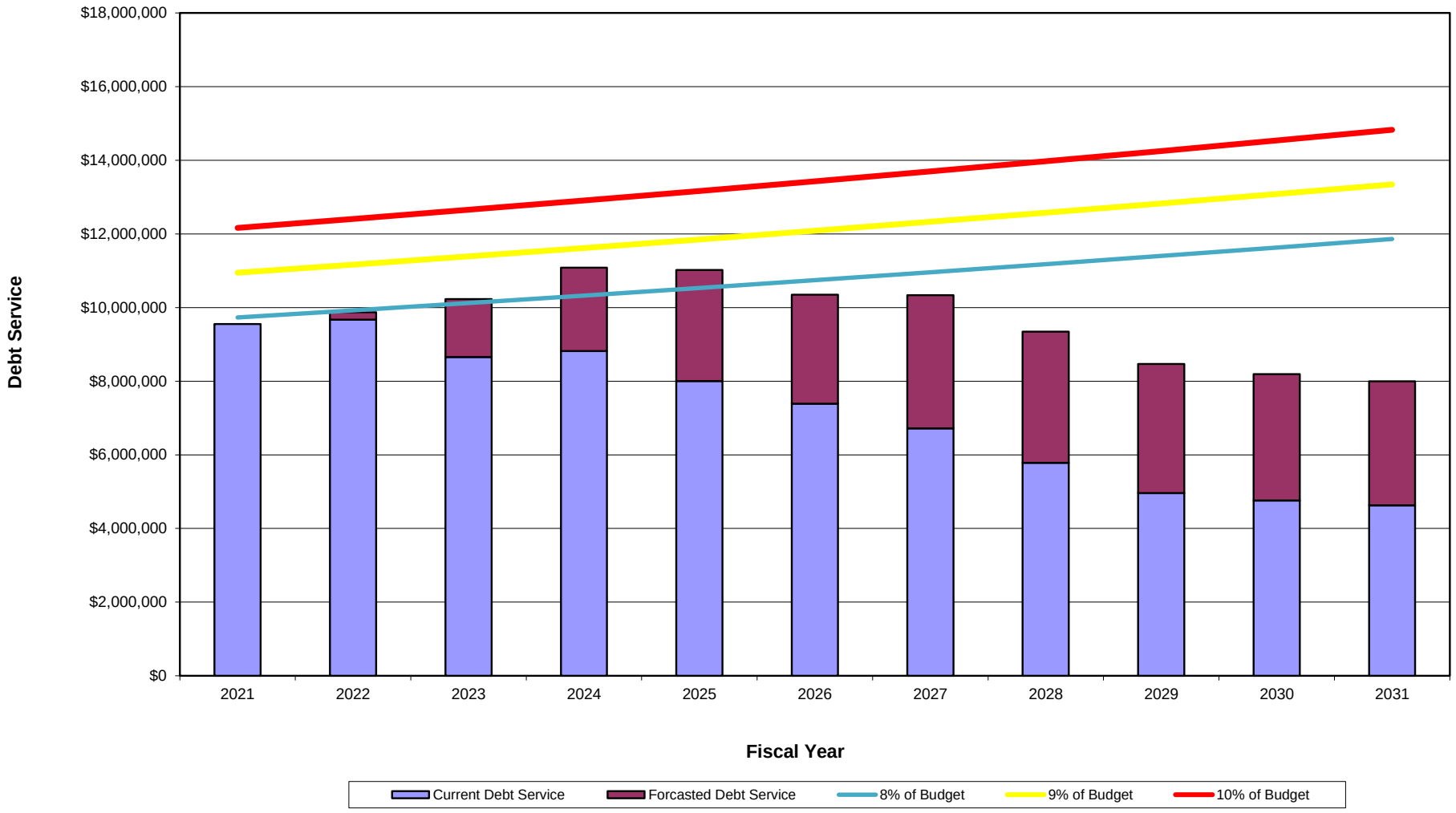
Increase in Annual Debt Service:

214,642	2.2%	
260,952	2.7%	
351,843	3.5%	
337,230	3.2%	
(371,645)	-3.5%	
(9,393)	-0.1%	

Current Year Planned Bond Issue:

CIP Yr	Project	Amount
2020-21	capital road program	750,000
	bridge replacement program	200,000
	new police facility	3,800,000
	emergency radio system upgrades	2,200,000
	edmond town hall renovations	268,000
2019-20	fire apparatus	550,000
prior	high school addition	232,000
		8,000,000
2020-21	fairfield hills sewer - sewer fund	915,000

TOWN OF NEWTOWN
2021- 22 TO 2025-26 CIP EFFECT ON FUTURE DEBT SERVICE



DATA INPUT:

ASSUMED BUDGET GROWTH (COMBINATION GRAND LIST & TAX INCREASE):

FISCAL YR	GROWTH (%)
06/30/2022	2.00%
06/30/2023	2.00%
06/30/2024	2.00%
06/30/2025	2.00%
06/30/2026	2.00%
06/30/2027	2.00%
06/30/2028	2.00%
06/30/2029	2.00%
06/30/2030	2.00%
06/30/2031	2.00%

ASSUMED AVERAGE BOND INTEREST RATE:

(03/15/2021)	2.50%
(03/15/2022)	2.65%
(03/15/2023)	2.80%
(03/15/2024)	2.95%
(03/15/2025)	3.10%
(03/15/2026)	3.25%

AMOUNT TO BE BONDED:

2021 - 2022	12,450,000
2022- 2023	9,250,000
2023 - 2024	9,885,000
2024 - 2025	-
2025 - 2026	8,730,000
	40,315,000

BOARD OF FINANCE CHANGES TO BOARD OF SELECTMEN/BOARD OF EDUCATION 2021-22 CIP:

- Year 1 – Hawley School Ventilation & HVAC for $4,199,720 was spread over three years (with a total of $8,000,000) which was based on Christopher Williams Architects Conceptual Estimate report.
    - **Year 1 - $1,500,000; year 2 - $2,500,000; year 3 - $4,000,000.**
- Year 2 – Reed School – Install Gas Boiler/LED Lighting was **moved to year 1** ($1,539,894).
- Year 3 – Middle School Improvements was **moved to year 5** ($3,782,228). Year 2 – Middle School Improvements Design was **moved to year 3** ($300,000).
- Year 5 – Middle Gate School Window Modifications ($1,000,000) & High School Turf Practice Field ($1,100,000) were **moved to year 6** (due to the shift of the Middle School Improvements project)
- Year 3 – Head O'Meadow School Boiler Plant & Lighting was **split into two projects** ($850,000).
    - Year 3 – Head O'Meadow Boiler Plant for $425,000
    - Year 1 – Head O'Meadow Lighting for $425,000
- Year 5 – Hawley School New Generator was **moved to year 1** so that it could be planned with the Hawley School Ventilation & HVAC project.
- Year 3 – Library Renovations/Replacements/Upgrades **amount changed** from $650,000 to $1,046,000 (an additional $396,000 to properly account for paving).
- Project name changes:
    - Middle School Improvements **changed** to Middle School HVAC
    - Middle School Improvements Design **changed** to Middle School HVAC Design
    - Multi-Purpose Building Improvements **changed** to Multi-Purpose Building Electrical/Mechanical/HVAC
- Year 6 – a **project was added to year 6**: Fairfield Hills Water Infrastructure for $750,000 (under the "other" proposed funding category).

Attachment D

Hawley Elementary School

Newtown, CT

HVAC Upgrade

Conceptual Estimate

20-Nov-20

Prepared by:
MEP Cost LLC

For:
Christopher Williams Architects, LLC

Hawley Elementary School
Newtown, CT
HVAC Upgrade

Conceptual Estimate
Gross Floor Area (sf): 54,193
Date: 20-Nov-20

Contents

Hawley Elementary School
Newtown, CT
HVAC Upgrade

Conceptual Estimate
Gross Floor Area (sf): 54,193
Date: 20-Nov-20

Basis of Estimate

Net Floor Area:

Phase 1 - Area C - 1921 Building	16,298	sf
Phase 2 - Area B (& 1997 classrooms) - 1948 Addition	25,710	sf
Phase 3 - Area A - 1997 Addition	12,185	sf
TOTAL	**54,193**	**sf**
1921 Building Attic	*4,773*	*sf*

Information used in preparation of estimate:

Basis of Design Narrative Draft Report dated Oct. 24, 2020 by BVH Integrated Services
Photos of existing conditions provided by Christopher Williams Architects LLC
2012 Boiler Replacement project drawings
2005 HVAC Repairs drawings
Information received through emails, and in telephone discussions with BVH and CWA

Clarifications & Exclusions

Clarifications:

The estimated construction durations are:
- Phase 1: 5 months for work in the 1921 building/Area C.
- Phase 2: 5 months for work in the 1948 addition/Area B.
- Phase 3: 2 months for work in the 1997 addition/Area A.

The estimated construction start dates are:
- June, 2021 for the 1921 building/Area C.
- June, 2022 for the 1948 addition/Area B.
- As desired for the 1997 addition/Area A.

As construction is desired to be phased and possibly performed during summer and other breaks, the estimate includes a 10% phasing premium, to account for multiple mobilizations/demobilizations, possible double shift premiums, possible night and weekend work premiums, temporary services/connections/reconnections, premiums for smaller work packages, etc.

This estimate is based on the use of a VAV reheat (variable air volume) HVAC system.

The estimate is based on prevailing wage rates for construction in this market, and represents a reasonable opinion of cost. It is not a prediction of the successful low bid from a contractor as bids will vary due to fluctuating market conditions, errors and omissions, proprietary specifications, a lack of or surplus of bidders, perception of risk, etc. Consequently the estimate is expected to fall within the range of bids from a number of competitive contractors or subcontractors.

Exclusions:

Costs associated with the following items are **NOT** included in the estimate:
- code upgrades (eg: building, seismic, fire alarm, fire protection, life safety, etc).
- firesafing of any existing penetrations.
- roof warranty extension (after repairs/patching for HVAC upgrade work).
- state sales tax.
- soft costs (design fees, bldg permits, etc).

Hawley Elementary School
Newtown, CT
HVAC Upgrade

Conceptual Estimate
Gross Floor Area (sf): 54,193
Date: 20-Nov-20

EXECUTIVE SUMMARY

		Total
Phase 1 (Area C) - 1921 Building	$	3,435,245
Phase 2 (Area B) - 1948 Addition (+ 1997 Classrooms)	$	3,001,220
Phase 3 (Area A) - 1997 Addition	$	832,072
TOTAL - All Phases	**$**	**7,268,537**

Hawley Elementary School
Newtown, CT
HVAC Upgrade - Phase 1 - 1921

Conceptual Estimate
Net Floor Area (sf): 16,298
Date: 20-Nov-20

PHASE 1 - ESTIMATE SUMMARY

	Description	$/sf	Total
	General Requirements		
01	General Requirements	5.95	97,000
	Facility Construction		
02	Existing Conditions	10.26	167,208
04	Masonry	0.06	900
05	Metals	10.59	172,670
06	Wood & Plastics	1.84	29,950
07	Thermal and Moisture Protection	7.43	121,022
08	Openings	2.33	38,025
09	Finishes	6.87	111,921
10	Specialties		
	Facility Services		
22	Plumbing	0.64	10,500
23	Heating Ventilating and Air Conditioning	80.33	1,309,273
26	Electrical	15.83	258,027
	Site and Infrastructure		
32	Exterior Improvements		
33	Utilities		
	Sub-Total:	142.13	$ 2,316,496
	Design & Pricing Contingency	10.00%	231,650
	Construction Contingency	3.00%	76,444
	Insurance (General Liability & Workers Compensation)	2.00%	52,492
	Performance and Payment Bond	1.00%	26,771
	General Conditions/Overhead/Profit	12.50%	337,982
	Escalation - to June 2021 @ 6% per annum	3.00%	81,116
	Phasing premium	10.00%	312,295
	Total Construction Cost:	210.78	$ 3,435,245

Hawley Elementary School
Newtown, CT
HVAC Upgrade - Phase 1 - 1921

Conceptual Estimate
Net Floor Area (sf): 16,298
Date: 20-Nov-20

Description	Quantity	Unit	Unit Cost	Total
GENERAL REQUIREMENTS				
01 GENERAL REQUIREMENTS				
Temporary Facilities & Controls				
Dust control (place & remove, cleanup, removal of demo'd materials), moving desks & chairs / floor protection	5	mos	10,000.00	50,000
Dumpster, 4 pulls per month	5	mos	6,400.00	32,000
Cut & patch site surfaces for new incoming electrical service	1	alw	15,000.00	15,000
Temporary protection at new dormer opening	300	sf	10.00	3,000
Temporary Facilities & Controls				**97,000**
TOTAL GENERAL REQUIREMENTS				**$ 97,000**
FACILITY CONSTRUCTION				
02 EXISTING CONDITIONS				
Removal and Salvage of Construction Materials				
Demo ceilings for installation of electrical wiring, duct, etc	5,984	sf	2.00	11,968
Cutting masonry walls for new ductwork distribution across corridor	10	ea	300.00	3,000
Core drilling of masonry walls for new piping/conduit distribution across corridor	50	ea	130.00	6,500
Cut hole through slabs for new ductwork and piping	15	ea	1,000.00	15,000
Cut openings in roof for new steel column extensions (or ties to beams) for support of new AHUs, low roof of 1921 building	8	ea	500.00	4,000
Cut holes in roof/structure for elec feeders to mech equip, & heating piping for AHUs	2	locns	1,000.00	2,000
Remove existing boxed out skylights at low 1921 roof	2	ea	2,500.00	5,000
Remove existing attic dormers and windows for new shed dormer	3	locns	1,500.00	4,500
Remove existing attic dormers and windows for new shed dormer	3	locns	1,500.00	4,500
Sawcut and remove top of masonry exterior wall to facilitate new dormer transition	31	lf	40.00	1,240
Brace opening at new dormer location during and after demo	350	sf	10.00	3,500
X-ray of floor/roof slabs in 1921 areas before coring/cutting holes	1	alw	4,500.00	4,500
Removal and Salvage of Construction Materials				**65,708**
Facility Remediation				
Spot Lead Abatement for cutting masonry walls x corridor	56	ea	250.00	14,000
Spot Lead Abatement for core drilling x corridor	140	ea	100.00	14,000
Spot Lead Abatement for piping/conduits	400	ea	50.00	20,000
Spot Asbestos Abatement for piping/conduits	25	ea	50.00	1,250
Cleaning of Attic & sealing	1	alw	10,000.00	10,000
Abatement of hidden asbestos pipe insulation in way	2	ea	2,500.00	5,000
Abatement of asbestos caulk at 1921 doors	50	lf	20.00	1,000
Asbestos transport & disposal	1	alw	1,250.00	1,250
Lead paint transport & disposal	1	alw	5,000.00	5,000
PCB transport & disposal	1	alw	5,000.00	5,000
3rd party testing & monitoring	1	alw	25,000.00	25,000
Facility Remediation				**101,500**

Hawley Elementary School
Newtown, CT
HVAC Upgrade - Phase 1 - 1921

Conceptual Estimate
Net Floor Area (sf): 16,298
Date: 20-Nov-20

	Description	Quantity	Unit	Unit Cost	Total
	TOTAL EXISTING CONDITIONS				$ 167,208
04	MASONRY				
	Brick Masonry				
	Modify top of existing masonry ext. wall at new dormer	30	lf	30.00	900
	Brick Masonry				**900**
	TOTAL MASONRY				$ 900
05	METALS				
	Misc Metals				
	Misc metal angles at openings in floor & roof for new shafts	50	ea	750.00	37,500
	Misc metal angles at openings in walls for new shafts	10	ea	500.00	5,000
	Add galv steel dunnage to support of new units on multi-purpose room roof	2	ton	6,400.00	9,600
	Add ledger angles or other misc metals at top wall/bottom dormer	31	lf	35.00	1,085
	Cover openings left by demo'd skylights with metal roof deck - use hilti connectors to attach to existing concrete	256	sf	10.00	2,560
	Add angle supports at edge of skylight opening (incl repair perim)	93	lf	25.00	2,325
	Add steel supports in attic to distribute weight of new units	10	ton	8,000.00	80,000
	Screenwall, galvanized supports (20 lbs per sf of screenwall)	4	ton	6,400.00	25,600
	Screenwall 4'-0" high, edge of flat roof of 1921 building	360	sf	25.00	9,000
	Misc Metals				**172,670**
	TOTAL METALS				$ 172,670
06	WOOD & PLASTICS				
	Rough Carpentry				
	Frame new shed dormer, including remove bracing left by demo sub	350	sf	40.00	14,000
	Sheathing and vapor barrier on dormer	600	sf	12.00	7,200
	Hardee plank siding at face with louvers; piece work	80	sf	20.00	1,600
	Trex trim at sides and edge of dormer; allow for trim at ex. Roofline	30	lf	25.00	750
	Rough Carpentry				**23,550**
	Finish Carpentry				
	Remove and replace classroom cabintry to facilitate duct risers	8	locns	800.00	6,400
	Finish Carpentry				**6,400**
	TOTAL WOOD & PLASTICS				$ 29,950
07	THERMAL and MOISTURE PROTECTION				
	Roofing				
	Provide new 2" thick conc pavers to/from cond units	100	sf	3.00	300
	New EPDM roof on dormer, including alum edging/trim	350	sf	28.00	9,800
	Copper flashing at valley and on sides of dormer	130	sf	35.00	4,550
	New roof at low 1921 roof, including sheathing, insulation, flashing for MEP piping & equipment curbs	1,924	sf	28.00	53,872

Description	Quantity	Unit	Unit Cost	Total
Provide insulation at existing attic - closed cell spray polyurethane applied between rafters to underside of roof shathing -2" thick.	7,000	sf	6.00	42,000
Hard coat ignition barrier over spray insul for fire rating	7,000	sf	1.50	10,500
Roofing				**121,022**
TOTAL THERMAL and MOISTURE PROTECTION				**$ 121,022**
08 OPENINGS				
Louvers				
New louvers at attic dormer	169	sf	225.00	38,025
Louvers				**38,025**
TOTAL OPENINGS				**$ 38,025**
09 FINISHES				
Gypsum Board				
Build new pipe/duct enclosure/shafts through 1st & 2nd floors, assume 2-2'x2' pipe shafts & 3-3'x4' duct shafts, including bulk heads. Includes bulkheads at new suspended ceilings	1,000	sf	25.00	25,000
New soffits	1,100	sf	15.00	16,500
Gypsum Board				**41,500**
Ceilings				
Add new drop ceiling to rooms with no existing drop ceiling	3,130	sf	6.50	20,345
FULL - replace demo'd T-bar ceiling grid & tiles for installation of ductwork, control wiring, electrical wiring, etc	5,984	sf	6.50	38,896
PARTIAL - Remove & replace T-bar ceiling tiles for installation of ductwork, control wiring, electrical wiring, etc	339	sf	3.50	1,187
Replace 25% of removed ceiling tiles due to breakage after removal for HVAC upgrade	85	sf	3.50	297
Replace 25% of T-bar ceiling grid damaged during HVAC upgrade and/or for installation of ductwork	85	sf	3.50	297
Ceilings				**61,021**
Painting and Coatings				
Paint new gyp bd bulkheads, soffits & shafts	2,200	sf	2.00	4,400
Allowance for touch up of wall/surface areas damaged during HVAC upgrade	1	alw	5,000.00	5,000
Painting and Coatings				**9,400**
TOTAL FINISHES				**$ 111,921**
FACILITY SERVICES				
22 PLUMBING				
Plumbing Fixtures & Related Services				
Floor drain w/trap guard (in attic) incl sanitary drainage piping (for AHU cooling coil cond drain)	3	ea	3,500.00	10,500
Plumbing Fixtures & Related Services				**10,500**

	Description	Quantity	Unit	Unit Cost	Total
	TOTAL PLUMBING				**$ 10,500**
23	**HEATING VENTILATING and AIR CONDITIONING**				
	Heating				
	Existing heating water plant, pumps, exp tanks, air separators, piping, perimeter finned tube radiation, etc				*ETR*
	Connect to exist heating water lines	2	ea	453.56	907
	Cabinet unit heater, hot water (for 1921 area C)	2	ea	2,210.00	4,420
	Heating water piping, 3" dia	227	lf	67.60	15,345
	Heating water piping, 2" dia	53	lf	59.31	3,143
	Heating water piping, 1 1/2" dia	257	lf	47.41	12,184
	Heating water piping, 1 1/4" dia	83	lf	42.30	3,511
	Heating water piping, 1" dia	185	lf	34.76	6,431
	Heating water piping, 3/4" dia	560	lf	28.10	15,736
	Local heating water piping rough-in & conn at AHU	4	ea	2,833.84	11,335
	Local heating water piping rough-in & conn at new CUH	2	ea	1,164.59	2,329
	Local heating water piping rough-in & conn at VAV box reheat coil	22	ea	1,407.84	30,972
	Valves & specialties (thermometers, pressure gauges, test fittings, air vents, flex pipe conns, access panels, drain pans, backflow preventors)	1	ls	8,500.00	8,500
	Pipe insulation, 1 1/2" thick, 3" dia	227	lf	13.29	3,017
	Pipe insulation, 1 1/2" thick, 2" dia	53	lf	12.69	673
	Pipe insulation, 1 1/2" thick, 1 1/2" dia	257	lf	11.88	3,053
	Pipe insulation, 1 1/2" thick, 1 1/4" dia	83	lf	11.69	970
	Pipe insulation, 1 1/2" thick, 1" dia	185	lf	11.32	2,094
	Pipe insulation, 1 1/2" thick, 3/4" dia	560	lf	11.06	6,194
	Heating				**130,815**
	Cooling				
	Refrigerant piping, insulated, between AHUs & condensing units	4	ea	3,500.00	14,000
	Cooling				**14,000**
	Air Distribution				
	AHU-C w/split cond unit, 8000 cfm (assembled on site)	2	ea	94,175.00	188,350
	AHU-C-Cafe w/split cond unit & heat recovery, 2500 cfm (assembled on site)	1	ea	33,075.00	33,075
	AHU-C-Multi-Purpose w/split cond unit & heat recovery, 2800 cfm (assembled on site)	1	ea	33,075.00	33,075
	Bi-polar ionization units				*not included*
	Sound attenuators for AHU supply & return ducts	42,600	cfm	0.50	21,300
	VAV box w/hot water reheat coil	22	ea	1,164.22	25,613
	Toilet rooms exhaust, janitor room exhaust, misc exh systems	1	alw	10,000.00	10,000
	Kitchen exhaust fan & ductwork	1	alw	15,000.00	15,000
	HVAC systems for boiler & elec rooms - to remain as is				*ETR*
	Galv steel duct, med press incl scrap, waste, hangers	5,987	lbs	13.82	82,740
	Galv steel duct, low press incl scrap, waste, hangers	20,080	lbs	12.33	247,586
	Relief & outside air plenums for louvers	540	sf	41.10	22,194
	Duct insulation, external, thermal, 3/4 # density, 1 1/2" thick	17,060	sf	3.35	57,151
	Air outlet, supply	73	ea	235.09	17,162

Hawley Elementary School
Newtown, CT
HVAC Upgrade - Phase 1 - 1921

Conceptual Estimate
Net Floor Area (sf): 16,298
Date: 20-Nov-20

Description	Quantity	Unit	Unit Cost	Total
Air outlet, return	37	ea	199.35	7,376
Manual balancing dampers	73	ea	136.31	9,951
Flexible duct	511	lf	25.93	13,250
Fire/smoke dampers, small (for 1921 area C)	8	alw	1,724.99	13,800
Air Distribution				**797,623**
Testing, Adjusting, and Balancing for HVAC				
Testing, adjusting & balancing air & (new) water systems	180	hrs	105.00	18,900
Testing, Adjusting, and Balancing for HVAC				**18,900**
Controls				
DDC BAS system budget provided by ABS-DDC (incl head end equip for all phases)	1	ls	194,000.00	194,000
Controls				**194,000**
HVAC Demolition				
Demo all exist HVAC systems in 1921 area C (except perim heat)	19,870	sf	0.50	9,935
Demo exist split system ACUs in 1921 area C multipurpose room	4	ea	1,000.00	4,000
HVAC Demolition				**13,935**
Miscellaneous HVAC				
Firesafing (at new penetrations only)	1	alw	5,000.00	5,000
Coord & As-Builts (3% labor)	1	ls	17,600.00	17,600
Daily cleanup (3% labor)	1	ls	17,600.00	17,600
Small tools & consum (4% labor)	1	ls	23,500.00	23,500
Equip Rental (2% labor)	1	ls	11,700.00	11,700
Startup (2% material)	1	ls	11,700.00	11,700
Warranty (0.5% material & labor)	1	ls	5,900.00	5,900
Supervision (8% labor)	1	ls	47,000.00	47,000
Miscellaneous HVAC				**140,000**

TOTAL HEATING VENTILATING and AIR CONDITIONING **$ 1,309,273**

	Description	Quantity	Unit	Unit Cost	Total
26	ELECTRICAL				
	Cabling, Conductors, Raceway				
	New electrical equip & feeders for new mech motor/equip loads:				
	New primary power service duct bank (2x5")	100	lf	30.00	3,000
	Excavation, backfill and concrete for primary duct bank	100	lf	20.00	2,000
	Grounding for transformer	1	ea	1,100.00	1,100
	New secondary power service duct bank (6x4")	50	lf	45.00	2,250
	Excavation, backfill and concrete for secondary duct bank	50	lf	40.00	2,000
	500 MCM XHHW str copper in duct bank	960	lf	15.00	14,400
	#1/0 AWG XHHW str copper in duct bank	240	lf	4.11	986
	New Main Switchboard 1600A 208V MCB w/1200A CB to backfeed existing Main Switchboard	1	ea	87,500.00	87,500
	1200A feeder to backfeed existing MSB	100	lf	300.00	30,000
	Splice 1200A feeder	1	ea	4,500.00	4,500
	Building Electrical:				
	Connect to Condensing Unit 30ton w/safety switch (wp)	2	ea	1,000.00	2,000
	Connect to Condensing Unit 12ton w/safety switch (wp)	2	ea	700.00	1,400
	Connect to AHU 8000CFM w/safety switch	2	ea	750.00	1,500
	Connect to AHU 2500CFM w/safety switch	2	ea	300.00	600
	Connect to VAV boxes	22	ea	263.00	5,786
	Connect to cabinet unit heater	2	ea	110.00	220
	200A motor feeder	200	lf	52.00	10,400
	175A motor feeder	200	lf	45.00	9,000
	70A motor feeder	200	lf	24.00	4,800
	60A motor feeder	200	lf	18.00	3,600
	20A motor feeder	1,000	lf	12.00	12,000
	Commissioning/Checkout/Test	1	ea	5,250.00	5,250
	Remove light fixts in demo'd ceilings & later reinstall in new ceilings	69	ea	415.00	28,635
	New light fixtures incl wiring	30	ea	500.00	15,000
	Remove, temporarily support & replace exist cameras, speakers, FA devices, WAPs, etc, mounted in ceiling, for removal & replacement of ceiling tiles/grid to allow installation of ductwork, electrical wiring	2	ea	50.00	100
	Duct smoke detectors (1 per unit) & conns to fire alarm system	1	alw	10,000.00	10,000
	Cabling, Conductors, Raceway				**258,027**
	TOTAL ELECTRICAL				**$ 258,027**

Hawley Elementary School
Newtown, CT
HVAC Upgrade - Phase 2 - 1948 (+ 1997 Classrooms)

Conceptual Estimate
Net Floor Area (sf): 25,710
Date: 20-Nov-20

PHASE 2 - ESTIMATE SUMMARY

	Description	$/sf	Total
	General Requirements		
01	General Requirements	3.19	82,000
	Facility Construction		
02	Existing Conditions	8.57	220,250
03	Concrete	0.12	3,000
04	Masonry	1.57	40,400
05	Metals	2.94	75,658
06	Wood & Plastics	0.12	3,200
07	Thermal and Moisture Protection	0.93	24,000
08	Openings		
09	Finishes	4.95	127,371
10	Specialties		
	Facility Services		
23	Heating Ventilating and Air Conditioning	46.93	1,206,506
26	Electrical	5.50	141,492
	Site and Infrastructure		
32	Exterior Improvements		
33	Utilities		
	Sub-Total:	74.83	$ 1,923,877
	Design & Pricing Contingency	10.00%	192,388
	Construction Contingency	3.00%	63,488
	Insurance (General Liability & Workers Compensation)	2.00%	43,595
	Performance and Payment Bond	1.00%	22,233
	General Conditions/Overhead/Profit	12.50%	280,698
	Escalation - to June 2022 @ 6% per annum	9.00%	202,102
	Phasing premium	10.00%	272,838
	Total Construction Cost:	116.73	$ 3,001,220

Hawley Elementary School
Newtown, CT
HVAC Upgrade - Phase 2 - 1948 (+ 1997 Classrooms)

Conceptual Estimate
Net Floor Area (sf): 25,710
Date: 20-Nov-20

Description	Quantity	Unit	Unit Cost	Total
GENERAL REQUIREMENTS				
01 GENERAL REQUIREMENTS				
Temporary Facilities & Controls				
Dust control (place & remove, cleanup, removal of demo'd materials), moving desks & chairs / floor protection	5	mos	10,000.00	50,000
Dumpster, 4 pulls per month	5	mos	6,400.00	32,000
Allow for carpenters, misc safety and temporary partitions	100	hr	60.00	6,000
Temporary Facilities & Controls				**82,000**
TOTAL GENERAL REQUIREMENTS				$ 82,000
FACILITY CONSTRUCTION				
02 EXISTING CONDITIONS				
Removal and Salvage of Construction Materials				
Demo ceilings for installation of electrical wiring, duct, etc	13,225	sf	2.00	26,450
Cutting block walls for new ductwork distribution across corridor	74	ea	500.00	37,000
Core drilling of block walls for new piping/conduit distribution across corridor	111	ea	300.00	33,300
Cut hole through floors for new ductwork and piping	8	ea	1,000.00	8,000
Cut holes in walls/floors for installation of new elec panelboards, conduits, ducts, etc (NOTE: lead based paint on walls in 1948 areas)	1	alw	5,000.00	5,000
Cut holes in roof for ducts from new RTUs	8	ea	1,500.00	12,000
Cut holes in roof/structure for elec feeders to mech equip & heating piping for RTUs	8	ea	1,000.00	8,000
Removal and Salvage of Construction Materials				**129,750**
Facility Remediation				
Small Asbestos Abatement for 2x2 duct holes in floor	8	ea	2,000.00	16,000
Spot Lead Abatement for piping/conduits	100	ea	50.00	5,000
Spot Asbestos Abatement for piping/conduits	75	ea	50.00	3,750
Vinyl Floor Tile abatement in 2 Electrical Rooms	2	ea	3,500.00	7,000
Abatement of hidden asbestos pipe insulation in way	8	ea	2,500.00	20,000
Trim trees that overhang roof	1	alw	10,000.00	10,000
Asbestos transport & disposal	1	alw	3,750.00	3,750
3rd party testing & monitoring	1	alw	25,000.00	25,000
Facility Remediation				**90,500**
TOTAL EXISTING CONDITIONS				$ 220,250
03 CONCRETE				
Cast-in-Place Concrete				
Patch/cover/seal openings in roof for demo'd exhaust fans	1	alw	3,000.00	3,000
Cast-in-Place Concrete				**3,000**
TOTAL CONCRETE				$ 3,000

Hawley Elementary School
Newtown, CT
HVAC Upgrade - Phase 2 - 1948 (+ 1997 Classrooms)

Conceptual Estimate
Net Floor Area (sf): 25,710
Date: 20-Nov-20

	Description	Quantity	Unit	Unit Cost		Total
04	**MASONRY**					
	Brick Masonry					
	Modifications to exist block walls to support steel beams for RTUs:					
	Cut beam pockets in block walls at locations to receive RTU support beams	32	locns	200.00		6,400
	Grout cells solid; add reinforcing steel at new beam locations	32	locns	800.00		25,600
	Set base plates provided by steel contractor	32	ea	75.00		2,400
	Drypack around steel beams after steel contractor sets beams	16	beams	250.00		4,000
	Repair damaged block in locations with new RTUs - assume 100 sf at each l	400	sf	5.00		2,000
	Brick Masonry					**40,400**
	TOTAL MASONRY				$	**40,400**
05	**METALS**					
	Misc Metals					
	Misc metal angles at openings in floor & roof for new shafts	27	ea	750.00		20,250
	Misc metal angles at openings in walls for new ducts	74	ea	500.00		37,000
	Add steel beams to support of new rooftop units	2	ton	9,000.00		13,608
	Furnish base plates to masonry contractor to anchor in block pocket	32	ea	150.00		4,800
	Misc Metals					**75,658**
	TOTAL METALS				$	**75,658**
06	**WOOD & PLASTICS**					
	Finish Carpentry					
	Remove and replace classroom cabintry to facilitate duct risers	4	rms	800.00		3,200
	Finish Carpentry					**3,200**
	TOTAL WOOD & PLASTICS				$	**3,200**
07	**THERMAL and MOISTURE PROTECTION**					
	Roofing					
	Re-roof/patch at new RTU curbs	6	ea	2,500.00		15,000
	Patch openings in roof for demo'd refrig piping	2	ea	500.00		1,000
	Provide new 2" thick conc pavers to/from RTUs	1,000	sf	3.00		3,000
	Flash & patch hole in roof for elec feeders to mech equip & heating piping for RTUs	100	sf	30.00		3,000
	Roof patching/flashings after new RTU curbs & duct penetrations installed	4	ea	500.00		2,000
	Roofing					**24,000**
	TOTAL THERMAL and MOISTURE PROTECTION				$	**24,000**

Hawley Elementary School
Newtown, CT
HVAC Upgrade - Phase 2 - 1948 (+ 1997 Classrooms)

Conceptual Estimate
Net Floor Area (sf): 25,710
Date: 20-Nov-20

Description	Quantity	Unit	Unit Cost	Total
09 FINISHES				
Gypsum Board				
Build new pipe/duct enclosure/shafts through 2nd floor, assume 2-2'x2' pipe shafts & 3-3'x4' duct shafts, including bulk heads. Includes bulkheads at new suspended ceilings	1,000	sf	25.00	25,000
Gypsum Board				**25,000**
Ceilings				
FULL - replace demo'd T-bar ceiling grid & tiles for installation of ductwork, control wiring, electrical wiring, etc	13,225	sf	6.50	85,963
PARTIAL - Remove & replace T-bar ceiling tiles for installation of ductwork, control wiring, electrical wiring, etc	2,173	sf	3.50	7,606
Replace 25% of removed ceiling tiles due to breakage after removal for HVAC upgrade	543	sf	3.50	1,901
Replace 25% of T-bar ceiling grid damaged during HVAC upgrade and/or for installation of ductwork	543	sf	3.50	1,901
Ceilings				**97,371**
Painting and Coatings				
Allowance for touch up of wall/surface areas damaged during HVAC upgrade & after demo of split system AC units	1	alw	5,000.00	5,000
Painting and Coatings				**5,000**
TOTAL FINISHES				$ 127,371
FACILITY SERVICES				
23 HEATING VENTILATING and AIR CONDITIONING				
Heating				
Existing heating water plant, pumps, exp tanks, air separators, piping, perimeter finned tube radiation, etc				*ETR*
Connect to exist heating water lines	2	ea	453.56	907
Heating water piping, avg 1 1/4" dia	1,500	lf	42.30	63,450
Local heating water piping rough-in & conn at RTU	4	ea	2,833.84	11,335
Local heating water piping rough-in & conn at VAV box reheat coil	24	ea	1,407.84	33,788
Valves & specialties (thermometers, pressure gauges, test fittings, air vents, flex pipe conns, access panels, drain pans, backflow preventors)	1	ls	9,600.00	9,600
Pipe insulation, 1 1/2" thick, avg 1 1/4" dia	1,500	lf	11.69	17,535
Heating				**136,616**
Cooling				
Split system ACU incl indoor unit, outdoor condensing unit & insulated refrig piping, for area requiring 24/7 cooling	1	alw	9,500.00	9,500
Cooling				**9,500**

Hawley Elementary School
Newtown, CT
HVAC Upgrade - Phase 2 - 1948 (+ 1997 Classrooms)

Conceptual Estimate
Net Floor Area (sf): 25,710
Date: 20-Nov-20

Description	Quantity	Unit	Unit Cost	Total
Air Distribution				
RTU-B1-1, 5500 cfm	1	ea	34,192.00	34,192
RTU-B1-2, 5000 cfm	1	ea	34,192.00	34,192
RTU-B2-1 w/heat recovery, 6500 cfm	1	ea	88,242.00	88,242
RTU-B2-2, 5000 cfm	1	ea	34,192.00	34,192
Bi-polar ionization units				*not included*
Sound attenuators for RTU supply & return ducts	44,000	cfm	0.50	22,000
VAV box w/hot water reheat coil (1/900 cfm)	24	ea	1,164.22	27,941
Toilet rooms exhaust, janitor room exhaust, misc exh systems	1	alw	20,000.00	20,000
HVAC systems for boiler & elec rooms - to remain as is				*ETR*
Galv steel duct, med press incl scrap, waste, hangers	6,160	lbs	13.82	85,131
Galv steel duct, low press incl scrap, waste, hangers	20,680	lbs	12.33	254,984
Duct insulation, external, thermal, 3/4 # density, 1 1/2" thick	17,446	sf	3.35	58,444
Duct insulation, external, thermal w/alum jacket for ductwork exposed at roof	600	sf	17.75	10,650
Air outlet, supply (1/300 cfm)	73	ea	235.09	17,162
Air outlet, return (1/500 cfm)	44	ea	199.35	8,771
Manual balancing dampers	73	ea	136.31	9,951
Flexible duct	511	lf	25.93	13,250
Air Distribution				**719,103**
Testing, Adjusting, and Balancing for HVAC				
Testing, adjusting & balancing air & (new) water systems	190	hrs	105.00	19,950
Testing, Adjusting, and Balancing for HVAC				**19,950**
Controls				
DDC BAS system budget provided by ABS-DDC	1	ls	165,000.00	165,000
Controls				**165,000**
HVAC Demolition				
Demo exhaust ducts & fans in 1948 area B	21,876	sf	0.50	10,938
Demo exist split system ACUs in M206 & M207	2	ea	1,000.00	2,000
Demo misc items not identified above (allowance)	1	alw	10,000.00	10,000
HVAC Demolition				**22,938**
Miscellaneous HVAC				
Firesafing (at new penetrations only)	1	alw	5,000.00	5,000
Coord & As-Builts (3% labor)	1	ls	16,100.00	16,100
Daily cleanup (3% labor)	1	ls	16,100.00	16,100
Small tools & consum (4% labor)	1	ls	21,500.00	21,500
Equip Rental (2% labor)	1	ls	10,700.00	10,700
Rigging/Cranes	1	ls	5,000.00	5,000
Startup (2% material)	1	ls	10,700.00	10,700
Warranty (0.5% material & labor)	1	ls	5,400.00	5,400
Supervision (8% labor)	1	ls	42,900.00	42,900
Miscellaneous HVAC				**133,400**

Hawley Elementary School
Newtown, CT
HVAC Upgrade - Phase 2 - 1948 (+ 1997 Classrooms)

Conceptual Estimate
Net Floor Area (sf): 25,710
Date: 20-Nov-20

	Description	Quantity	Unit	Unit Cost	Total
	TOTAL HEATING VENTILATING and AIR CONDITIONING				$ 1,206,506
26	ELECTRICAL				
	Cabling, Conductors, Raceway				
	Connect and feed 15ton RTU with safety switch (wp)	4	ea	1,000.00	4,000
	Connect to VAV boxes w/manual starters	24	ea	263.00	6,312
	150A motor feeder	400	lf	42.00	16,800
	20A motor feeder	960	lf	12.00	11,520
	Remove light fixts in demo'd ceilings & later reinstall in new ceilings	214	ea	415.00	88,810
	Remove, temporarily support & replace exist cameras, speakers, FA devices, WAPs, etc, mounted in ceiling, for removal & replacement of ceiling tiles/grid to allow installation of ductwork, electrical wiring	81	ea	50.00	4,050
	Duct smoke detectors (1 per unit) & conns to fire alarm system	1	alw	10,000.00	10,000
	Cabling, Conductors, Raceway				**141,492**
	TOTAL ELECTRICAL				$ 141,492

Hawley Elementary School
Newtown, CT
HVAC Upgrade - Phase 3 - 1997

Conceptual Estimate
Net Floor Area (sf): 12,185
Date: 20-Nov-20

PHASE 3 - ESTIMATE SUMMARY

	Description	$/sf	Total
	General Requirements		
01	General Requirements	0.86	10,480
	Facility Construction		
02	Existing Conditions	0.36	4,414
03	Concrete		
04	Masonry		
05	Metals	0.25	3,000
07	Thermal and Moisture Protection	1.07	13,000
08	Openings		
09	Finishes	0.64	7,788
10	Specialties		
	Facility Services		
23	Heating Ventilating and Air Conditioning	43.20	526,363
26	Electrical	0.90	11,010
	Site and Infrastructure		
32	Exterior Improvements		
33	Utilities		
	Sub-Total:	47.28	**$ 576,056**
	Design & Pricing Contingency	10.00%	57,606
	Construction Contingency	3.00%	19,010
	Insurance (General Liability & Workers Compensation)	2.00%	13,053
	Performance and Payment Bond	1.00%	6,657
	General Conditions/Overhead/Profit	12.50%	84,048
	Escalation - by owner (depending on const start date)		*not included*
	Phasing premium	10.00%	75,643
	Total Construction Cost:	68.29	**$ 832,072**

Hawley Elementary School
Newtown, CT
HVAC Upgrade - Phase 3 - 1997

Conceptual Estimate
Net Floor Area (sf): 12,185
Date: 20-Nov-20

Description	Quantity	Unit	Unit Cost	Total
GENERAL REQUIREMENTS				
01 GENERAL REQUIREMENTS				
Temporary Facilities & Controls				
Dust control (place & remove, cleanup, removal of demo'd materials), moving desks & chairs / floor protection	2,040	sf	2.00	4,080
Dumpster, 4 pulls per month	1	mo	6,400.00	6,400
Temporary Facilities & Controls				**10,480**
TOTAL GENERAL REQUIREMENTS				$ 10,480
FACILITY CONSTRUCTION				
02 EXISTING CONDITIONS				
Removal and Salvage of Construction Materials				
Demo corridor ceilings for installation of, electrical wiring, duct, etc	607	sf	2.00	1,214
Cutting block walls for new ductwork distribution across corridor	4	ea	500.00	2,000
Core drilling of block walls for new piping/conduit distribution across corridor	4	ea	300.00	1,200
Removal and Salvage of Construction Materials				**4,414**
TOTAL EXISTING CONDITIONS				$ 4,414
05 METALS				
Misc Metals				
Misc metal angles at openings in floor & wall for new duct & pipe	1	alw	3,000.00	3,000
Misc Metals				**3,000**
TOTAL METALS				$ 3,000
07 THERMAL and MOISTURE PROTECTION				
Roofing				
Temporary roof protection/walkways for removal of exist 1997 RTUs & installation of new RTUs	1	alw	10,000.00	10,000
Roof patching/flashings after installation of curb adaptors for replaced RTUs in 1997 area	6	ea	500.00	3,000
Roofing				**13,000**
TOTAL THERMAL and MOISTURE PROTECTION				$ 13,000
09 FINISHES				
Ceilings				
FULL - replace demo'd T-bar ceiling grid & tiles for installation of ductwork, control wiring, electrical wiring, etc	607	sf	6.50	3,946
PARTIAL - Remove & replace T-bar ceiling tiles for installation of ductwork, control wiring, electrical wiring, etc	351	sf	3.50	1,229
Replace 25% of removed ceiling tiles due to breakage after removal for HVAC upgrade	88	sf	3.50	307
Replace 25% of T-bar ceiling grid damaged during HVAC upgrade and/or for installation of ductwork	88	sf	3.50	307
Ceilings				**5,788**

Hawley Elementary School
Newtown, CT
HVAC Upgrade - Phase 3 - 1997

Conceptual Estimate
Net Floor Area (sf): 12,185
Date: 20-Nov-20

Description	Quantity	Unit	Unit Cost	Total
Painting and Coatings				
Allowance for touch up of wall/surface areas damaged during HVAC upgrade	1	alw	2,000.00	2,000
Painting and Coatings				**2,000**
TOTAL FINISHES				$ 7,788
FACILITY SERVICES				
23 HEATING VENTILATING and AIR CONDITIONING				
Heating				
Existing heating water plant, pumps, exp tanks, air separators, piping, perimeter finned tube radiation, etc				*ETR*
Connect to exist heating water lines	2	ea	453.56	907
Heating water piping, 3/4" dia (for VAV box reheat coils)	250	lf	28.10	7,025
Local heating water piping rough-in & conn at VAV box reheat coil	3	ea	1,407.84	4,224
Valves & specialties (thermometers, pressure gauges, test fittings, air vents, flex pipe conns, access panels, drain pans, backflow preventors)	1	ls	1,100.00	1,100
Pipe insulation, 1 1/2" thick, 3/4" dia (for VAV box rhc)	250	lf	11.06	2,765
Heating				**16,021**
Air Distribution				
Demo exist 1997 wing RTU & replace with new pkg DX cooled RTU w/energy recovery wheel & curb adaptor (6 ea, total 20,250 cfm)	1	ls	198,850.00	198,850
Bi-polar ionization units				*not included*
Sound attenuators for RTU supply/return ducts	40,500	cfm	0.50	20,250
VAV box w/hot water reheat coil (for 1997 area A Science Classroom & Lobby/Corridor)	3	ea	1,164.22	3,493
Ductwork, insulation, air outlets, dampers, flex duct, etc for Science Classroom and Lobby/Corridor VAV boxes	1	alw	33,700.00	33,700
Clean (50%), pressure test (50%) & reseal (10%) of existing to remain ducts in 1997 areas	1	alw	10,000.00	10,000
HVAC systems for boiler & elec rooms - to remain as is				*ETR*
Air Distribution				**266,293**
Testing, Adjusting, and Balancing for HVAC				
Testing, adjusting & balancing air & (new) water systems	150	hrs	105.00	15,750
Testing, Adjusting, and Balancing for HVAC				**15,750**
Controls				
DDC BAS system budget provided by ABS-DDC	1	ls	167,000.00	167,000
Controls				**167,000**

	Description	Quantity	Unit	Unit Cost	Total
	Miscellaneous HVAC				
	Firesafing (at new penetrations only)	1	alw	2,000.00	2,000
	Coord & As-Builts (3% labor)	1	ls	7,100.00	7,100
	Daily cleanup (3% labor)	1	ls	7,100.00	7,100
	Small tools & consum (4% labor)	1	ls	9,400.00	9,400
	Equip Rental (2% labor)	1	ls	4,700.00	4,700
	Rigging/Cranes	1	ls	5,000.00	5,000
	Startup (2% material)	1	ls	4,700.00	4,700
	Warranty (0.5% material & labor)	1	ls	2,400.00	2,400
	Supervision (8% labor)	1	ls	18,900.00	18,900
	Miscellaneous HVAC				**61,300**
	TOTAL HEATING VENTILATING and AIR CONDITIONING				$ 526,363
26	ELECTRICAL				
	Cabling, Conductors, Raceway				
	Disconnect existing RTU, leave feeder for re-use	6	ea	100.00	600
	Connect new RTU to existing feeder, provide new safety switch	6	ea	700.00	4,200
	Remove light fixts in demo'd ceilings & later reinstall in new ceilings	14	ea	415.00	5,810
	Remove, temporarily support & replace exist cameras, speakers, FA devices, WAPs, etc, mounted in ceiling, for removal & replacement of ceiling tiles/grid to allow installation of ductwork, electrical wiring	8	ea	50.00	400
	Cabling, Conductors, Raceway				**11,010**
	TOTAL ELECTRICAL				$ 11,010

CWA

CHRISTOPHER WILLIAMS ARCHITECTS LLC

Hawley School Meeting PBSC Meeting Agenda
Meeting Date **November 24, 2020**

CWA TEAM:
Christopher Williams CWA
Ilona Prosol, BVH
John Luby, Enviro-med.

1. **Testing:** Enviro-med is scheduled to perform the second IAQ study on the week of December 7, 2020, which is a postponement from the scheduled date due to distance learning.

2. **Meeting Notes, 11/3/20**: On 11/03/20, a zoom meeting was held with:

   Bob Gerbert (Town of Newtown)
   Allen Adriani (Town of Newtown)
   Christopher Williams (CWA)
   Ilona Prosol (BVH)
   Jeremy Rapoza (BVH)
   Josiah Butler (BVH)

   2.1. Items discussed:
   - 2.1.1. The Town is concerned that the VRF system will result in a series of individual units throughout the building that rely on a refrigerant that will be phased out of production in 2024, resulting in excessive refrigerant replenishment costs afterwards and possible complicated replacement work when the units become obsolete in the future.
   - 2.1.2. Design parameters were reviewed, and it was agreed that equipment should be sized per ASHRAE/IMC ventilation rates.
   - 2.1.3. The increase in ductwork size will necessitate additional suspended ceiling modifications and/or additions. The Town agreed, especially in the 1921 building that has high ceilings with poor acoustics.
   - 2.1.4. The Town reiterated the preference to design a VAV type system.
   - 2.1.5. The Town requested that a conceptual estimate be prepared by 11/6/20 for the next finance committee meeting.

3. **Conceptual Estimate no. 1, 11/6/20:**

   3.1. 11/6/20 Estimate: CWA presented an estimate totaling $6,313,595.00. This was based on a VRF system proposed by BVH. An additional Rough Order of Magnitude (ROM) cost of $1,000,00 was identified to upgrade the system to a VAV system. The additional costs would be attributed to:
   - 3.1.1. Larger ductwork required to handle the increased volume of air.
   - 3.1.2. Changing refrigerant piping to hot water supply and return piping.
   - 3.1.3. Increase in spatial requirements to accommodate larger ductwork and VAV units throughout the building.
   - 3.1.4. Increase in outdoor air, resulting in additional louvers.
   - 3.1.5. Additional suspended ceilings being removed/replaced and added throughout the building.

4. **Meeting Notes, 11/13/20**: On 11/03/20, a zoom meeting was held with:

   Bob Gerbert (Town of Newtown)
   Allen Adriani (Town of Newtown)

Gordon Johnson (Town of Newtown)
Christopher Williams (CWA)
Ilona Prosol (BVH)
Jeremy Rapoza (BVH)

4.1. Items Discussed:
- 4.1.1. Budget: The $6.3 - $7.3 million estimate exceeds the Town's initial $4.1 Million estimate.
- 4.1.2. The Town will consider phasing the project into three phases roughly reflecting the vintage of each building wing-1921, 1948 and 1997.
- 4.1.3. The design team expressed concern over phasing and performing the work during school breaks, which would be 2 months during the summer and a few weeks during the school year. The work cannot reasonably be completed in those time periods, especially if a more extensive ducted system is deployed. The town needs to develop temporary plans for the classes held in the affected rooms.
- 4.1.4. The design team recommends that the Town engage a Construction Manager/Owner's Rep who can assist in developing logistic plans, identify swing spaces, develop independent cost estimates and offer funding/budgeting guidance on ancillary but necessary non-construction expenses.
- 4.1.5. The design team was asked to develop a phased Conceptual Estimate by 11/20/20.

5. **Conceptual Estimate no. 2, 11/20/20:**
   - 5.1. The attached Conceptual Estimate is divided into 3 phases totaling $7,268,537.00.
   - 5.2. In addition to the estimate, attached are phasing floor plans:
     - 5.2.1. Phase 1: 1921 Building
     - 5.2.2. Phase 2: 1948 Building and part of the 1995 Building. The central corridor of the 1948 building extends into the 1995 building and including it with the 1948 building is a logical choice. The 1995 lobby/corridor that extends beyond the classrooms would not be included in phase 2, so corridor bi-directional doors may be considered to keep the atmospheres separate.
     - 5.2.3. Phase 3: Replacing/upgrading the 1995 building Rooftop units, including extending the system into Science Classroom M100 and the lobby/corridor.

6. **Design Progress:** The design team has developed progress plans sufficient for the cost estimator to develop the attached budget. Between actual drawings, take-offs from the BIM model, narratives and discussions, the scope is sufficiently captured in the budget. As with most conceptual budgets, some items may be high in cost and some low but will level off as the accuracy of design and pricing increases.
   - 6.1. To move forward into Design Development, the design team needs direction on the budget from the Town.

Attachments as Separate Files:
Conceptual Estimate, dated 20-Nov-20 prepared by MEP Cost LLC
G001-Phasing Plans-dated 11.20.20 prepared by CWA
Progress Drawing Set-dated 11.20.20 by CWA and BVH

Hawley Elementary School
HVAC Improvements

-Split project into separate phases
    Phase I – 1921 Section
    Phase II – 1948 Section

-Phase I work scope
    -Perform work using current funding on CIP
    -Ducted VAV air distribution for 1921 portion of building
    -Electrical service upgrade to facilitate Phase I and Phase II work
    -Ceiling/lighting in classrooms, hallways, etc.
    -HVAC controls
-Phase II work scope
    -Add project/funding to CIP in 2021 for FY 2024/25
    -Ducted VAV air distribution for 1948 portion of building
    -Ceiling/lighting in classrooms, hallways, etc.

-Phase I work split into two summers 2021 & 2022

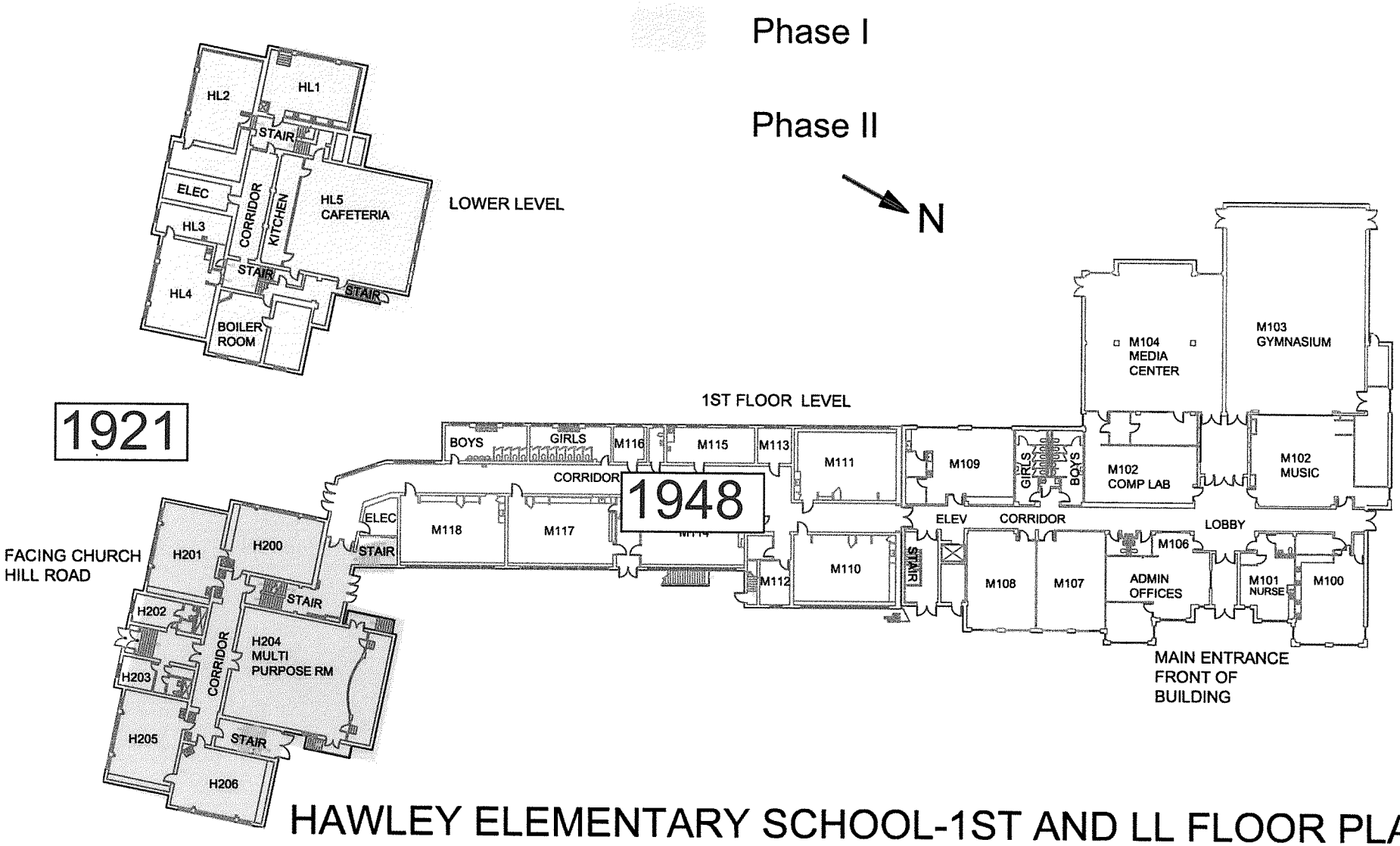
Summer 2021
-Electric service upgrade
-Hazmat abatement
-HVAC unit prep work (i.e equipment pads)
-Structural modifications/prep work
-Roofing modification/prep work

Summer 2022
-HVAC unit installation
-Ductwork/VAV installation
-Heating pipe installation
-Ceiling/lighting installation

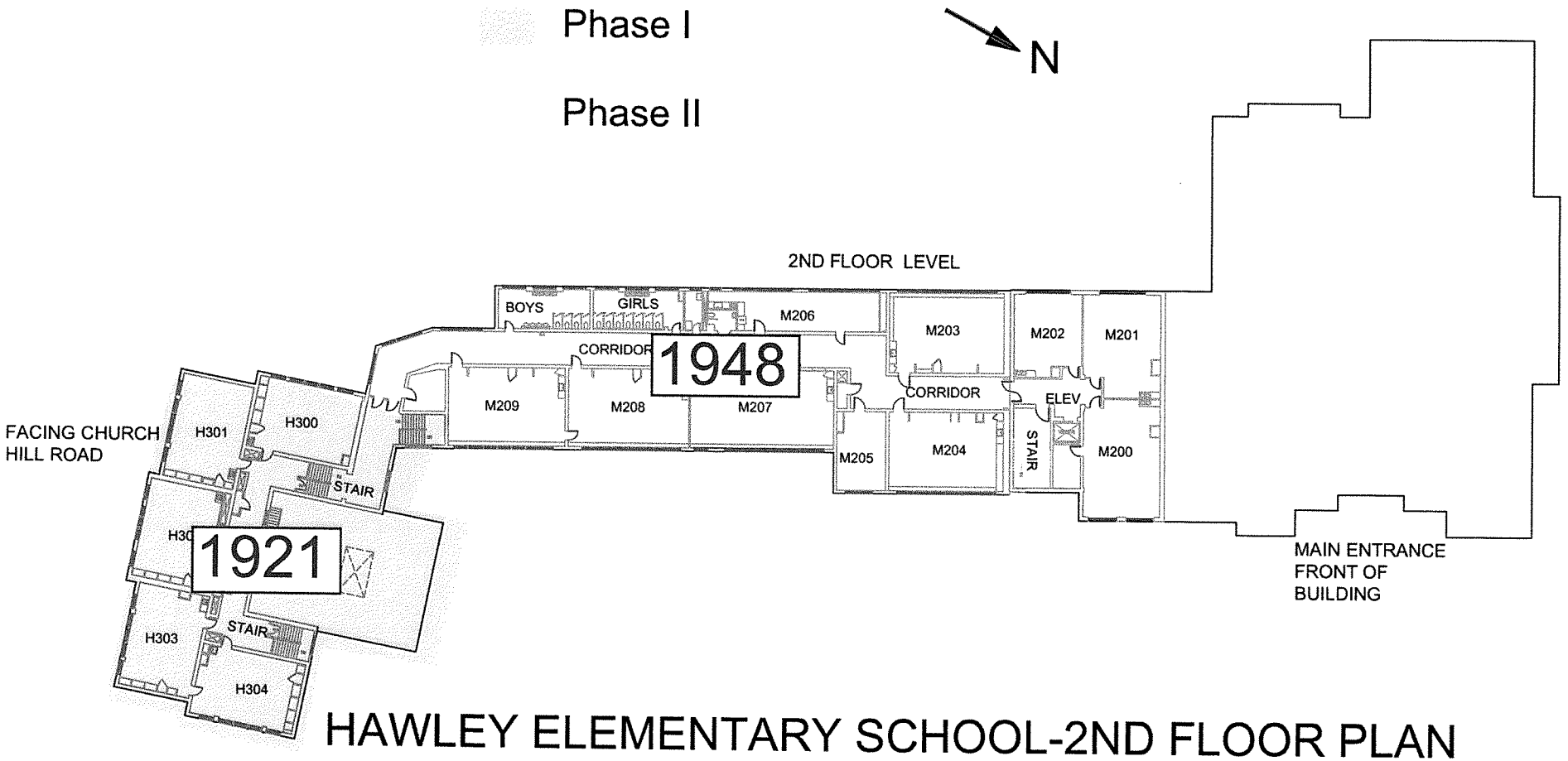
-Phase II work

Summer 2023
-HVAC unit prep work (roof curbs)
-Structural modifications/prep work
-Roofing modifications/prep work
-Hazmat abatement

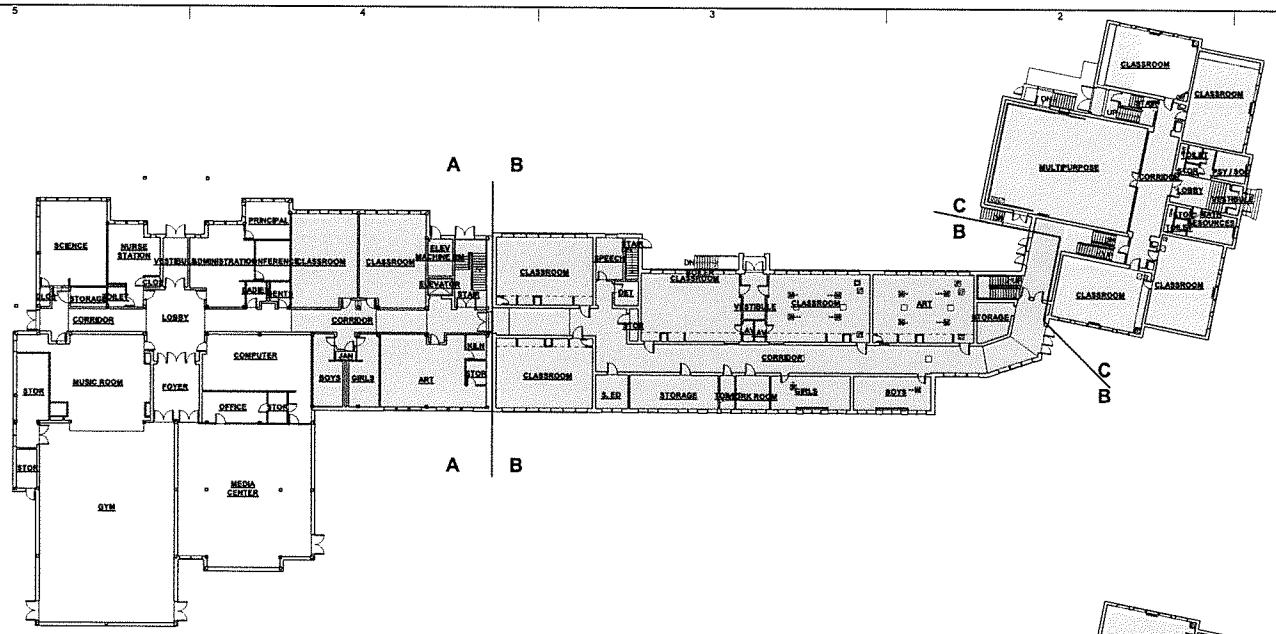
Summer 2024
-HVAC unit installation
-Ductwork/VAV installation
-Heating pipe installation
-Ceiling/lighting installation



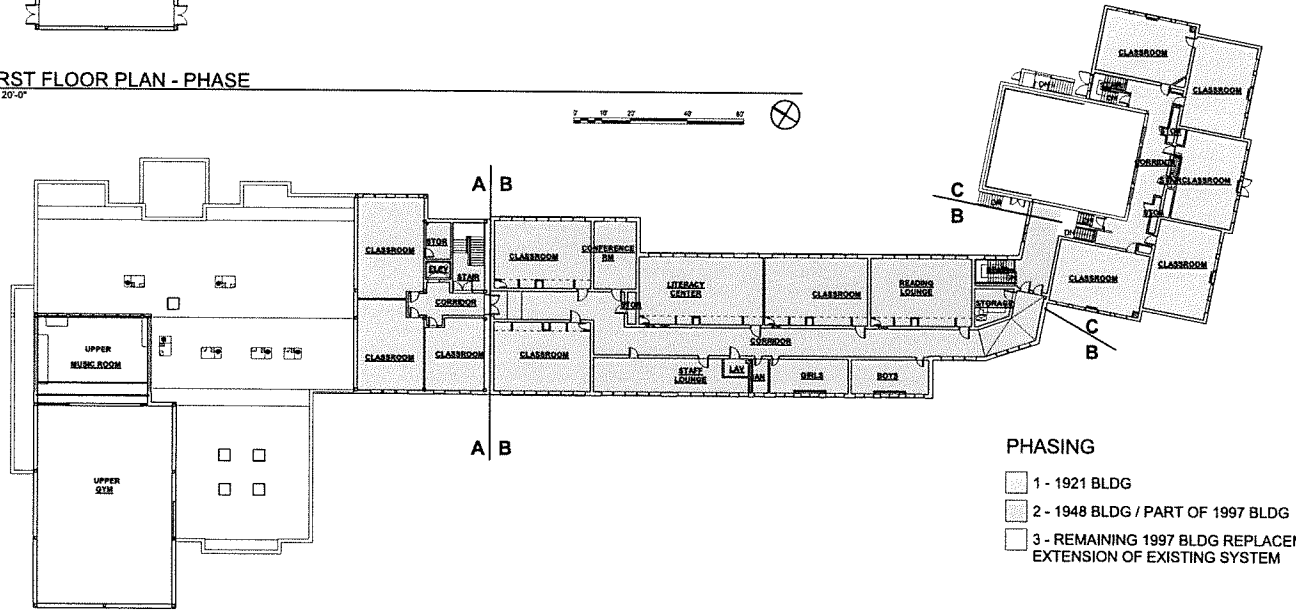
HAWLEY ELEMENTARY SCHOOL-1ST AND LL FLOOR PLAN



HAWLEY ELEMENTARY SCHOOL-2ND FLOOR PLAN



B5 FIRST FLOOR PLAN - PHASE
1" = 20'-0"



A5 SECOND FLOOR PLAN - PHASE
1" = 20'-0"

PHASING

- 1 - 1921 BLDG
- 2 - 1948 BLDG / PART OF 1997 BLDG
- 3 - REMAINING 1997 BLDG REPLACEMENT & EXTENSION OF EXISTING SYSTEM

GENERAL NOTES

1. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of all Work by the Contractor. The Contract Documents are complementary, and what is required by one shall be as binding as if required by all. Where a conflict within the Contract Documents exists, the Contractor shall provide the better quality or greater quantity of work in accordance with the Architect's resolution without any increase in the Contract sum. Organization of the Specifications into divisions, sections and articles, and arrangement of sheets shall not control the Contractor in dividing the work among subcontractors, or in establishing the extent of Work to be performed by any trade.
2. REFERENCE KEY NOTES and SHEET KEY NOTES are intended to indicate and clarify the extent and requirements of the Work; they do not indicate every location or occurrence of required Work. The lack of a key note in an individual item of Work will not relieve the Contractor of responsibility to execute that Work as part of the Contract when the requirement for that Work can be logically inferred by other parts of the Contract Documents
3. Do not scale drawings, except for estimation and approximation purposes.
4. This is an existing building; all conditions and critical dimensions must be field verified.

TOWN OF NEWTOWN 1705 CONN

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PHASING

G001

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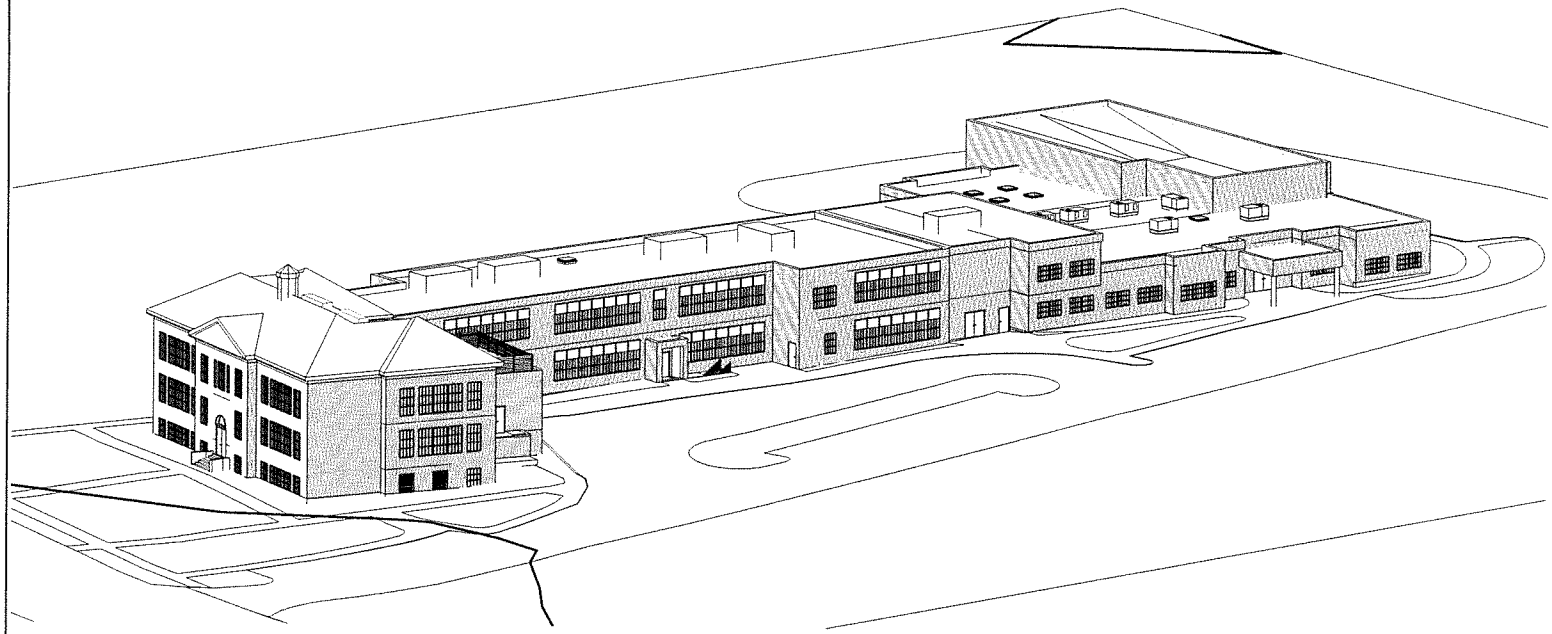
HAWLEY ELEMENTARY SCHOOL

29 CHURCH HILL ROAD
NEWTOWN, CT 06470



SHEET INDEX		
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C101	SITE PLAN	
AE101	OVERALL EXISTING FIRST FLOOR PLAN	
AE102	OVERALL EXISTING SECOND FLOOR PLAN	
AE103	OVERALL EXISTING ROOF PLAN	
AE111	OVERALL EXISTING FIRST FLOOR RCP	
AE112	OVERALL EXSITING SECOND FLOOR RCP	
AE201	EXTERIOR ELEVATIONS	
AE202	EXTERIOR ELEVATIONS	
AE301	BUILDING SECTIONS - AREA A	
AE302	BUILDING SECTIONS - AREA B	
AE303	BUILDING SECTIONS - AREA C	
AE304	BUILDING SECTIONS - AREA C	
AE310	WALL SECTIONS - AREA A	
AE311	WALL SECTIONS - AREA B	
AE312	WALL SECTIONS - AREA C	
AE313	WALL SECTIONS - AREA A/B JOINT	
A101	OVERALL FIRST FLOOR PLAN	
A102	OVERALL SECOND FLOOR PLAN	
A103	OVERALL ROOF PLAN	
A111	OVERALL FIRST FLOOR RCP	
A112	OVERALL SECOND FLOOR RCP	
A101-C	FIRST FLOOR PLAN AREA C	
A102-C	SECOND FLOOR PLAN AREA C	
A103-C	ATTIC PLAN AREA C	
A201	EXTERIOR ELEVATIONS	
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A301	SECTION THRU LOUVER - AREA C	
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A501	WALL DETAILS	
A601	SCHEDULES	
A602	SCHEDULES	
H100	HVAC BASEMENT PLAN	
H101-A	HVAC FIRST PLAN AREA A	
H101-B	HVAC FIRST PLAN AREA B	
H101-C	HVAC FIRST PLAN AREA C	
H102-A	HVAC SECOND FLOOR PLAN AREA A	
H102-B	HVAC SECOND FLOOR PLAN AREA B	
H102-C	HVAC SECOND FLOOR PLAN AREA C	
H103-C	HVAC ATTIC PLAN AREA C	
H104-A	HVAC ROOF PLAN AREA A	
H104-B	HVAC ROOF PLAN AREA B	
H104-C	HVAC ROOF PLAN AREA C	

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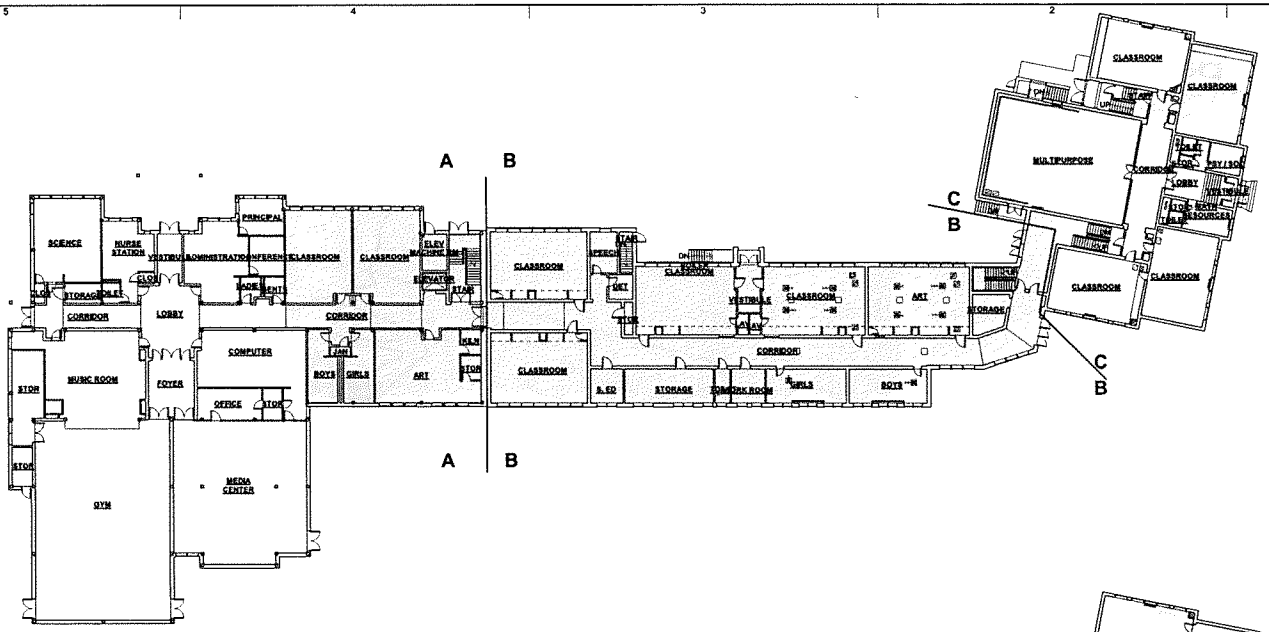
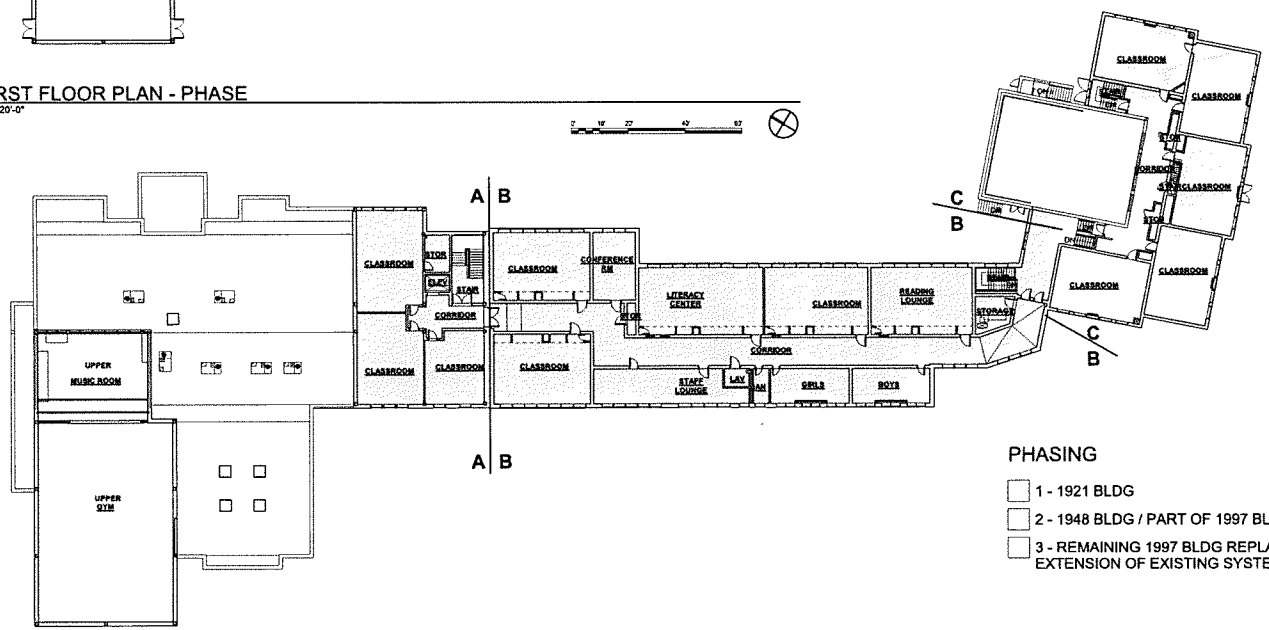


B5 FIRST FLOOR PLAN - PHASE
1" = 20'-0"



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1" = 20'-0"

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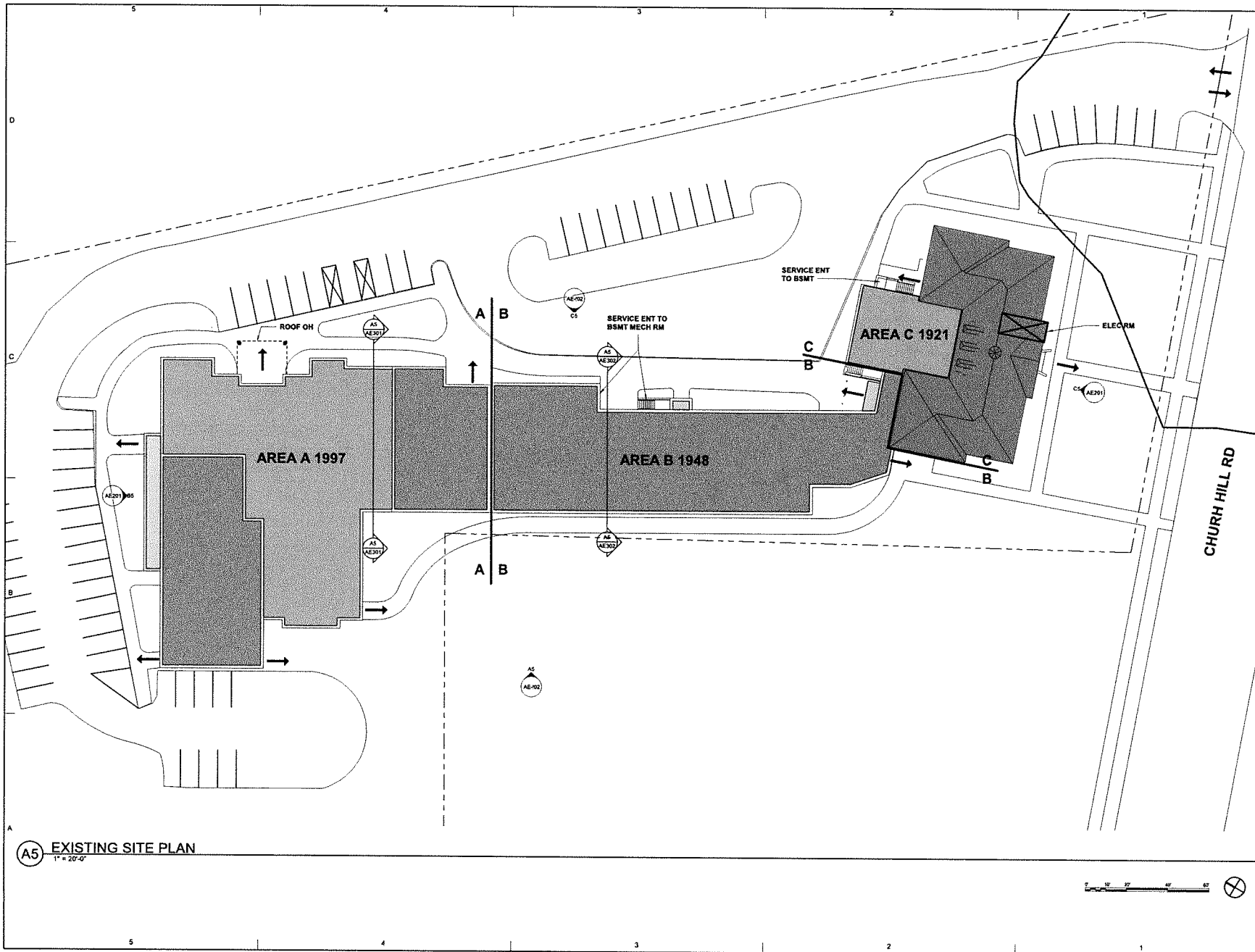

A5 EXISTING SITE PLAN
1" = 20'-0"

TOWN OF NEWTOWN 1705

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SITE PLAN

C101

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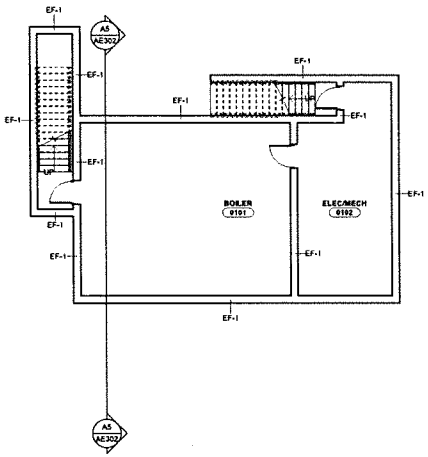
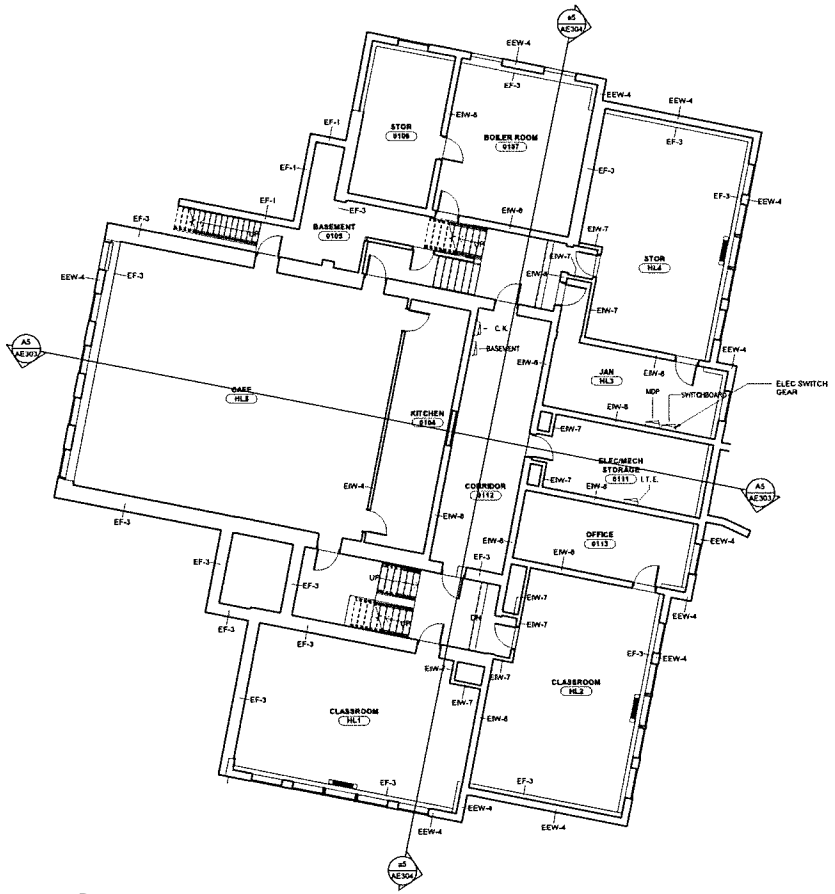


A5 EXISTING BASEMENT FLOOR PLAN - AREA B
1/8" = 1'-0"



A3 EXISTING BASEMENT FLOOR PLAN - AREA C
1/8" = 1'-0"

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KEYNOTES

EXISTING WALL TYPES

WALL TAG	DESC
EXTERIOR	
EEW-1	BRICK FACED MTL STUD W/ GYP - 12"-18" THICK
EEW-2	EXTERIOR SOLID MASONRY WALL - 12"-24" THICK
EEW-3	EXTERIOR BRICK FACED SOLID MASONRY W/ GYP OR PLASTER - 12"-24" THICK
EEW-4	EXTERIOR BRICK FACED SOLID MASONRY W/FURRED PLASTER WALL - 12"+ THICK
FOUNDATION	
EF-1	CAST IN PLACE CONC WALL - 6"-12" THICK
EF-2	CAST IN PLACE CONC WALL - 12"-18" THICK
EF-3	CAST IN PLACE CONC WALL - 18"+ THICK
INTERIOR	
EIW-1	SOLID MASONRY WALL - 4"-6" THICK
EIW-2	
EIW-3	SOLID MASONRY WALL - 12"-24" THICK
EIW-4	GYP OR PLASTER STUD WALL - 4"-6" THICK
EIW-7	PLASTER FURRED SOLID MASONRY WALL - 4"-6" THICK
EIW-8	PLASTER FURRED SOLID MASONRY WALL - 6"-12" THICK
EIW-9	PLASTER FURRED SOLID MASONRY WALL - 12"-24" THICK
EIW-10	GLASS BLOCK WALL - 12" THICK

KEY PLAN

TOWN OF NEWTOWN 1705 CONN

OWNER
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EXISTING BASEMENT PLAN AREA C

AE100-C

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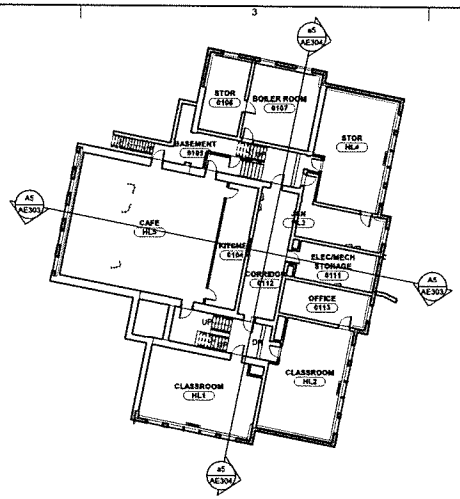

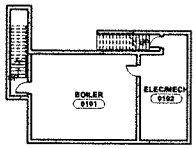

C5 EXISTING BASEMENT PLAN - OVERALL
1/16" = 1'-0"

ROOMS

CURRENTLY AIR CONDITIONED

A5 EXISTING FIRST FLOOR PLAN - OVERALL
1/16" = 1'-0"

TOWN OF NEWTOWN

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OVERALL EXISTING FIRST FLOOR PLAN

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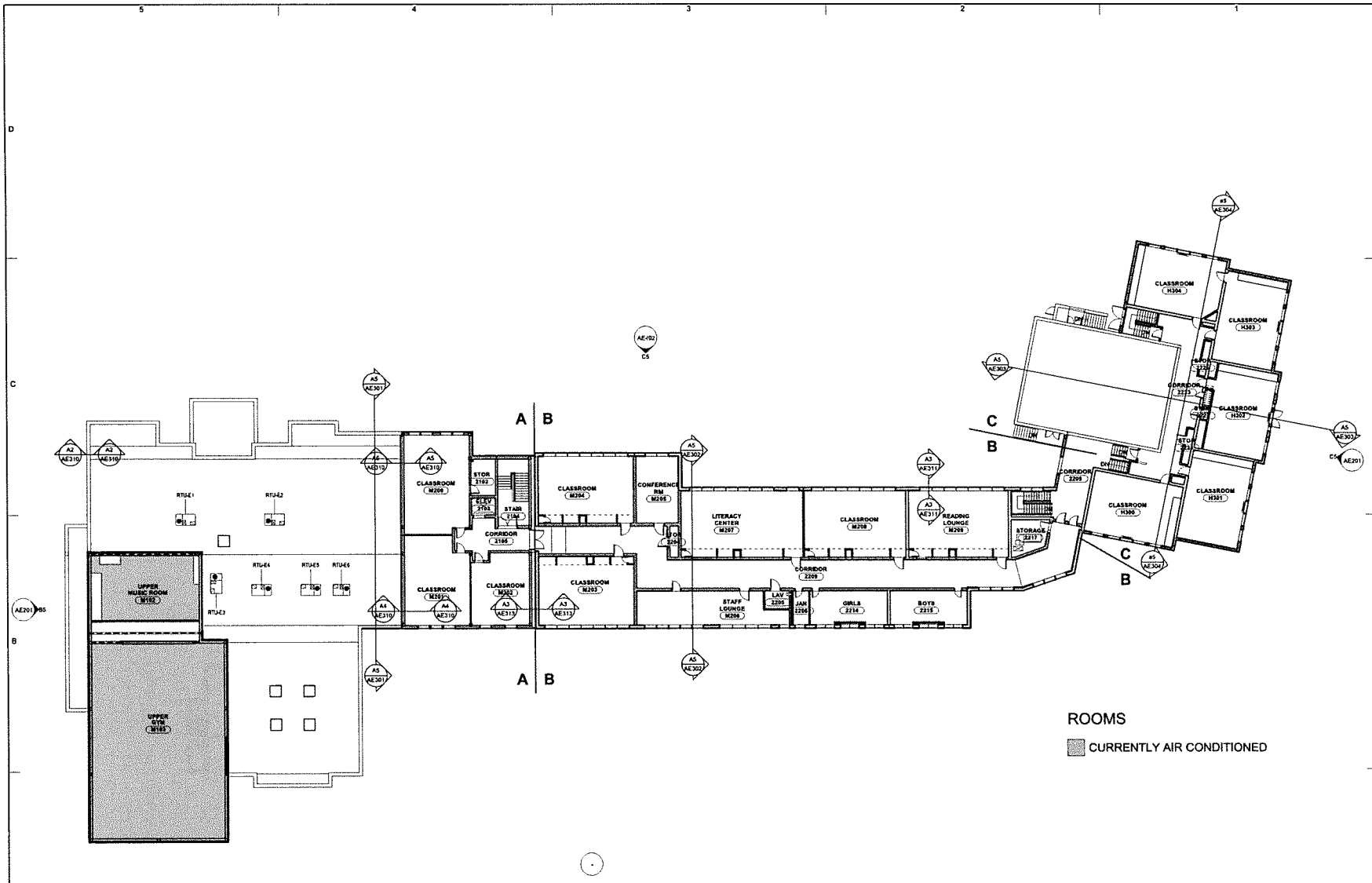

A5 EXSITING SECOND FLOOR - OVERALL
1/16" = 1'-0"

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OVERALL EXISTING SECOND FLOOR PLAN

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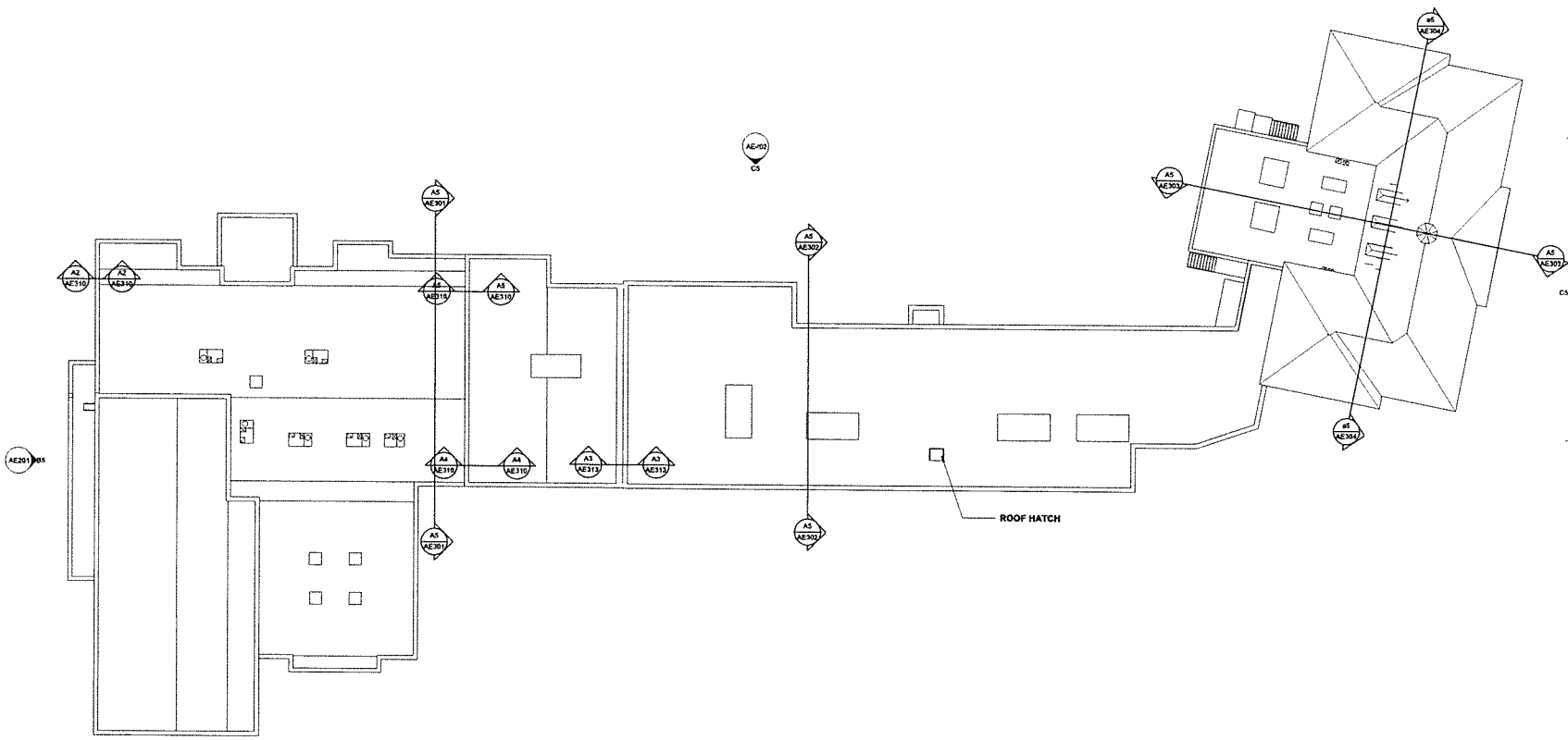

A5 EXISTING ROOF PLAN - OVERALL
1/16" = 1'-0"

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OVERALL EXISTING ROOF PLAN

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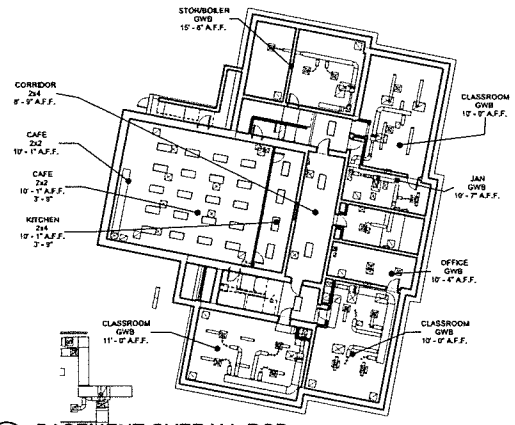
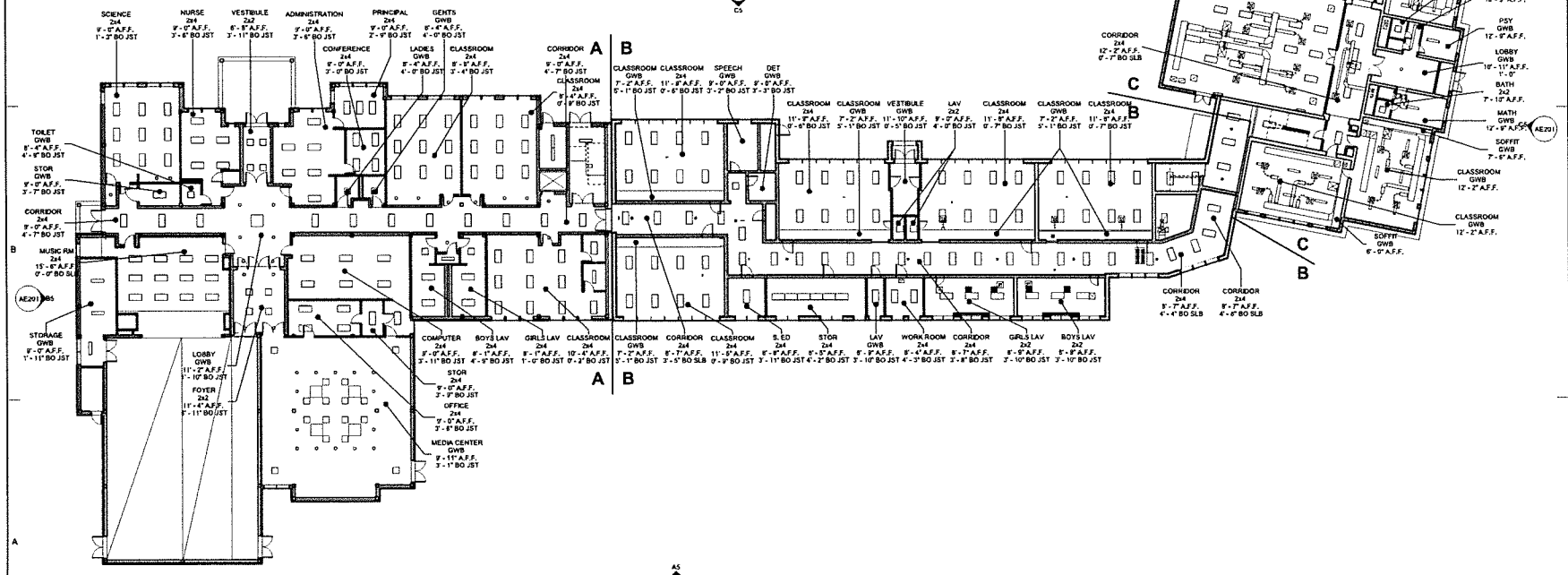


C4 BASEMENT OVERALL RCP
1/16" = 1'-0"



A5 FIRST FLOOR RCP
1/16" = 1'-0"

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OVERALL EXISTING FIRST FLOOR RCP

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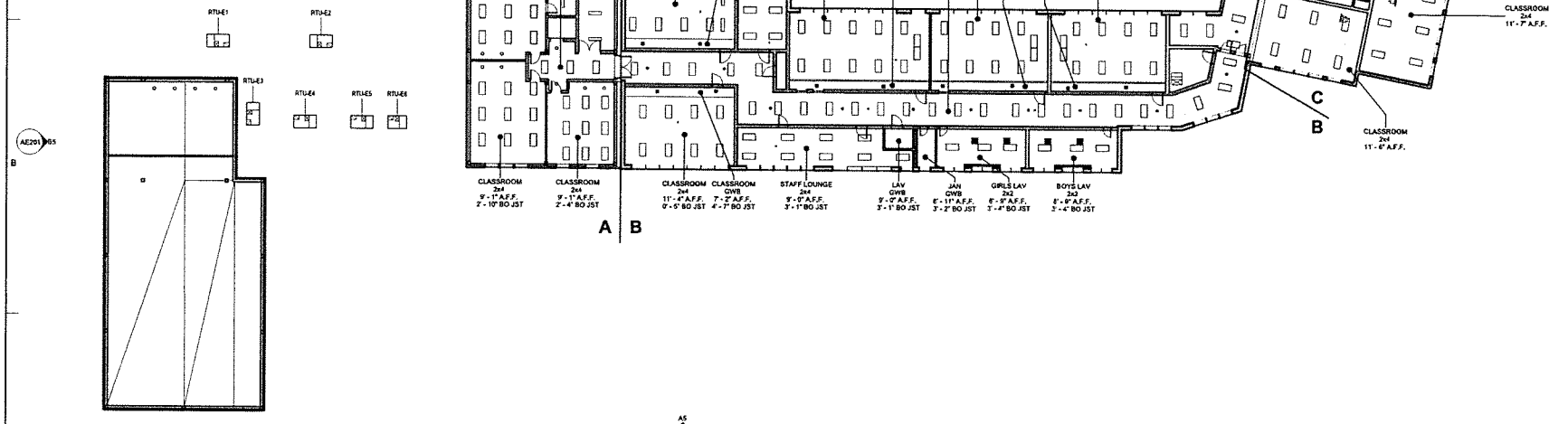

A5 2ND FLR OVERALL RCP
1/16" = 1'-0"

TOWN OF NEWTOWN 1705

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OVERALL EXSITING SECOND FLOOR RCP

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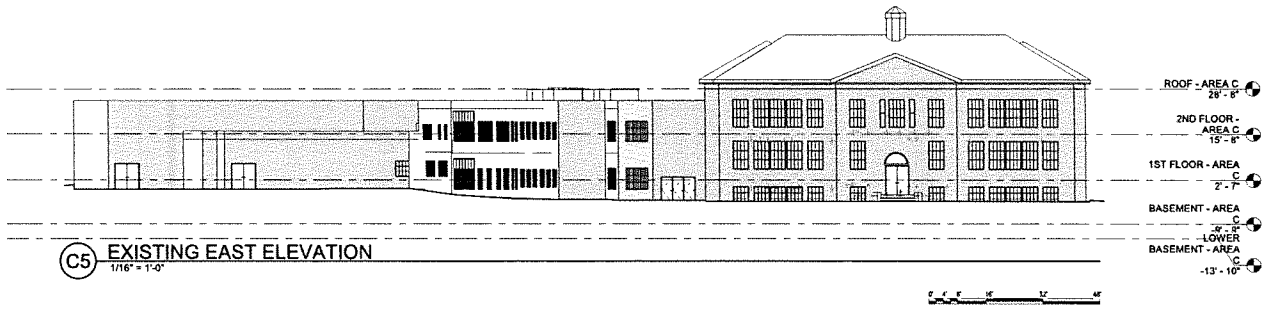
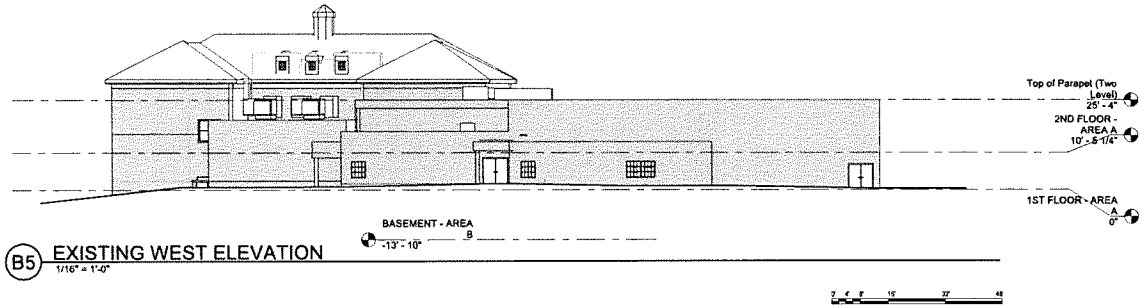


C5 EXISTING EAST ELEVATION
1/16" = 1'-0"



B5 EXISTING WEST ELEVATION
1/16" = 1'-0"

GENERAL NOTES

1. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of all Work by the Contractor. The Contract Documents are complementary, and what is required by one shall be as binding as if required by all. Where a conflict within the Contract Documents exists, the Contractor shall provide the better quality or greater quantity of work in accordance with the Architect's resolution without any increase in the Contract sum. Organization of the Specifications into divisions, sections and articles, and arrangement of sheets shall not control the Contractor in dividing the work among subcontractors, or in establishing the extent of Work to be performed by any trade.
2. REFERENCE KEY NOTES and SHEET KEY NOTES are intended to indicate and clarify the extent and requirements of the Work. they do not indicate every location or occurrence of required Work. The lack of a key note to an individual item of Work will not relieve the Contractor of responsibility to execute that Work as part of the Contract when the requirement for that Work can be logically inferred by other parts of the Contract Documents
3. Do not scale drawings, except for estimation and approximation purposes.
4. This is an existing building, all conditions and critical dimensions must be field verified.

TOWN OF NEWTOWN 1705 CONN

OWNER

HAWLEY ELEMENTARY SCHOOL
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NEWTOWN, CT 06470

ARCHITECT

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ENGINEERS

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Bloomfield, CT 06002
Tel: (860) 286-9171 www.bvhis.com

ENVIRONMENTAL CONSULTANT

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EXTERIOR ELEVATIONS

AE201

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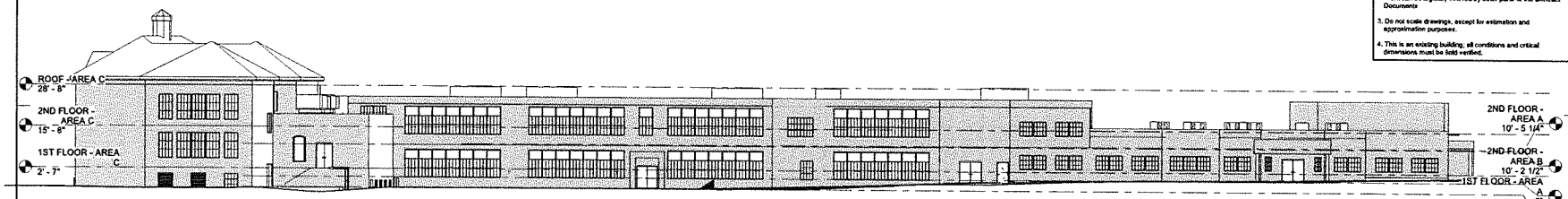
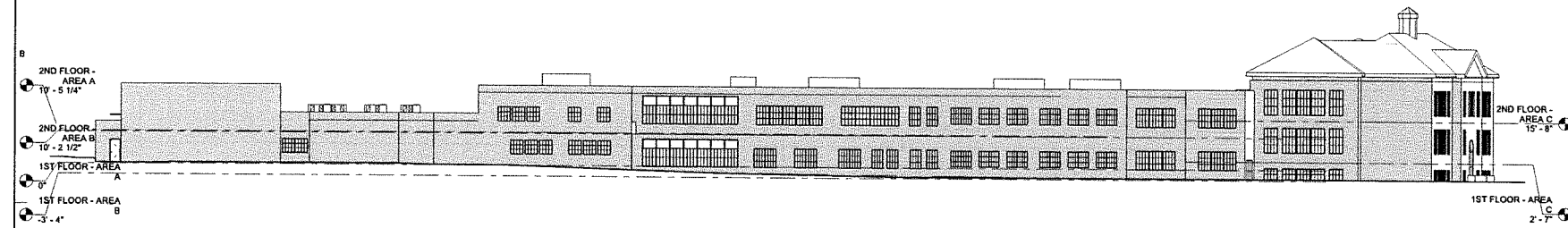


C5 EXISTING NORTH ELEVATION
1/16" = 1'-0"



A5 EXISTING SOUTH ELEVATION
1/16" = 1'-0"

GENERAL NOTES

1. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of all Work by the Contractor. The Contract Documents are complementary, and what is required by one shall be as binding as if required by all. Where a conflict within the Contract Documents exists, the Contractor shall provide the better quality or greater quantity of work in accordance with the Architect's resolution without any increase in the Contract sum. Organization of the Specifications into divisions, sections and articles, and arrangement of sheets shall not control the Contractor in dividing the work among subcontractors, or in establishing the extent of Work to be performed by any trade.
2. REFERENCE KEY NOTES and SHEET KEY NOTES are intended to indicate and clarify the extent and requirements of the Work; they do not indicate every location or occurence of required Work. The lack of a key note to an individual item of Work will not relieve the Contractor of responsibility to execute that Work as part of the Contract when the requirement for that Work can be logically inferred by other parts of the Contract Documents
3. Do not scale drawings, except for estimation and approximation purposes.
4. This is an existing building; all conditions and critical dimensions must be field verified.

TOWN OF NEWTOWN 1711 CONN

OWNER
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EXTERIOR ELEVATIONS

AE202

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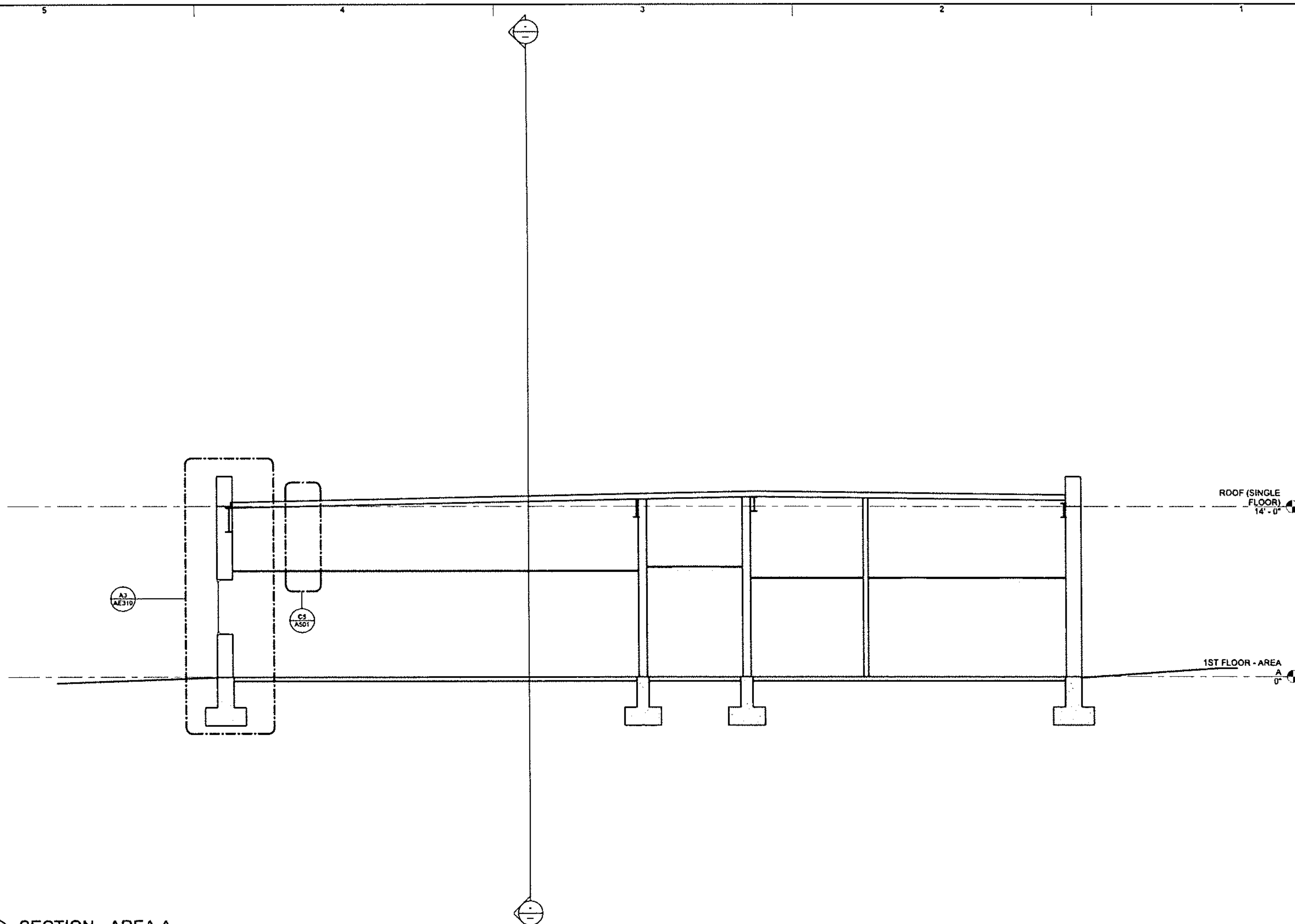
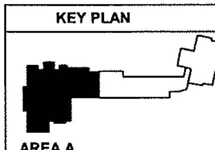


A5 SECTION - AREA A
1/4" = 1'-0"

KEY PLAN



OWNER

HAWLEY ELEMENTARY SCHOOL
29 CHURCH HILL ROAD
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BUILDING SECTIONS - AREA A

AE301

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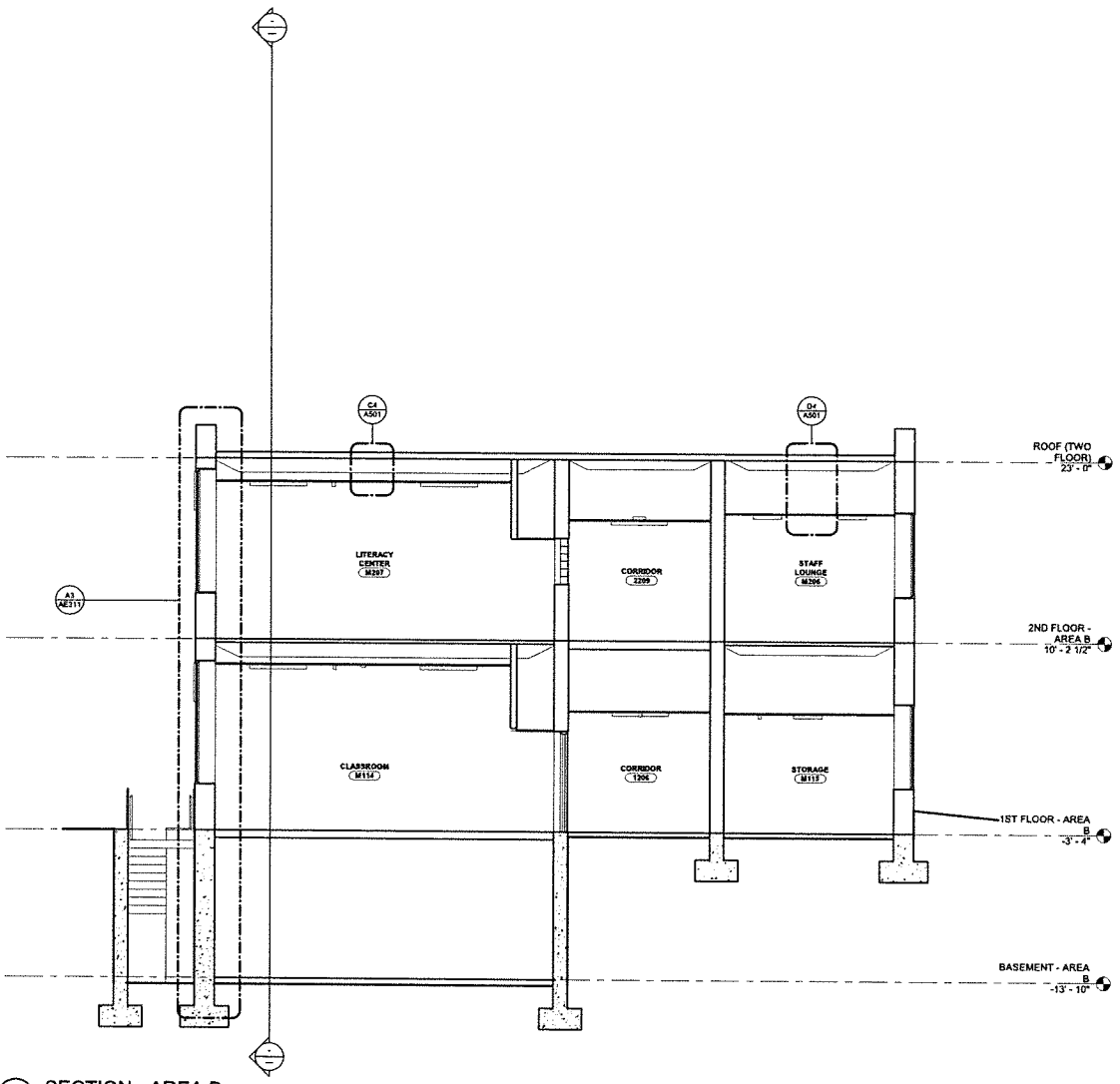
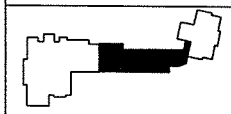


A5 SECTION - AREA B
1/4" = 1'-0"

KEY PLAN



AREA B

TOWN OF NEWTOWN

OWNER

HAWLEY ELEMENTARY SCHOOL
29 CHURCH HILL ROAD
NEWTOWN, CT 06470

ARCHITECT

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BUILDING SECTIONS - AREA B

AE302

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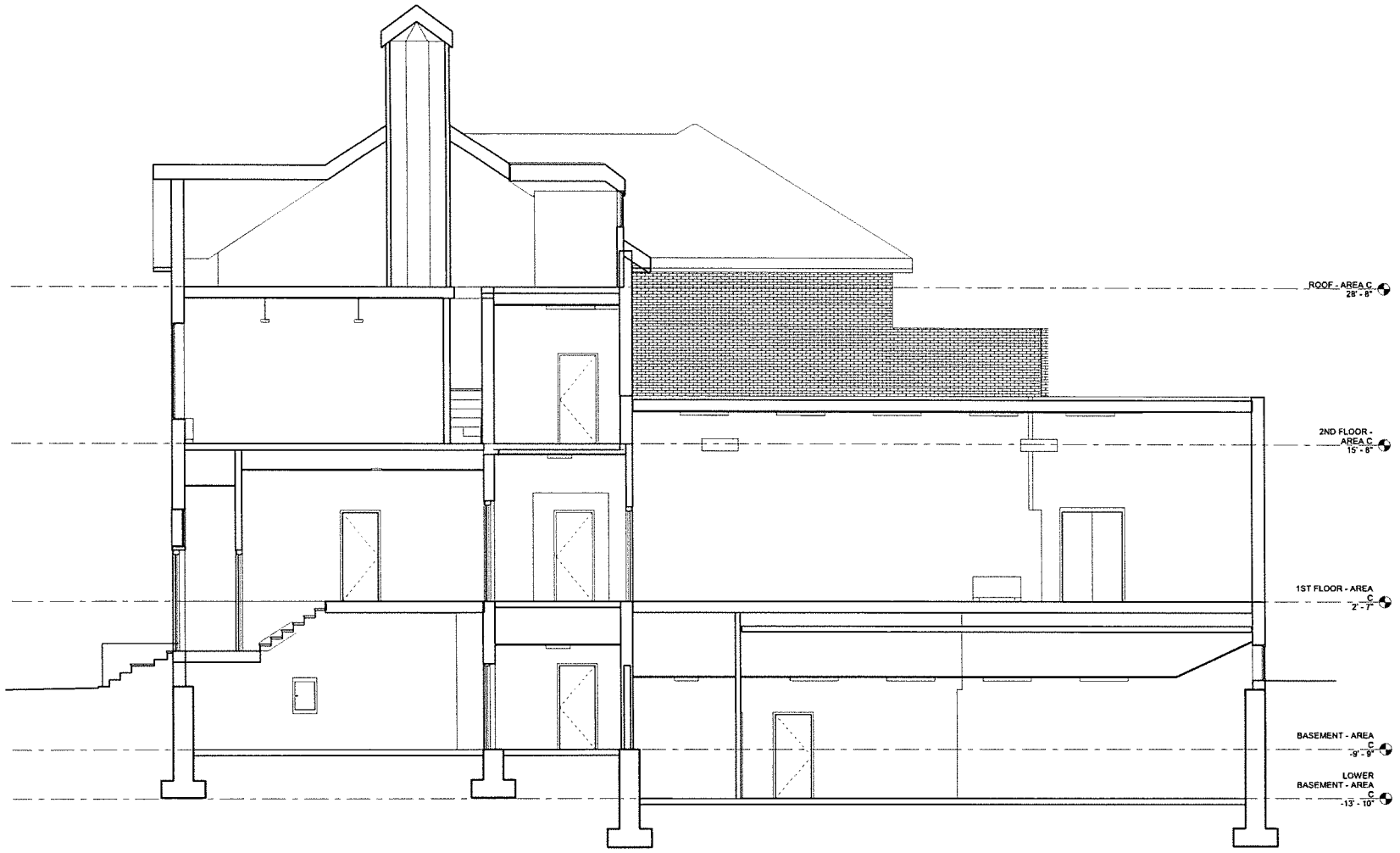

A5 SECTION - AREA C
1/4" = 1'-0"

KEY PLAN

AREA C

OWNER
HAWLEY ELEMENTARY SCHOOL
29 CHURCH HILL ROAD
NEWTOWN, CT 06470

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BUILDING SECTIONS - AREA C

AE303

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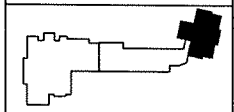
a5 SECTION 2 - AREA C
1/4" = 1'-0"

KEY PLAN



AREA C

TOWN OF NEWTOWN 1705 CONN

OWNER
HAWLEY ELEMENTARY SCHOOL
29 CHURCH HILL ROAD
NEWTOWN, CT 06470

ARCHITECT
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BUILDING SECTIONS - AREA C

AE304

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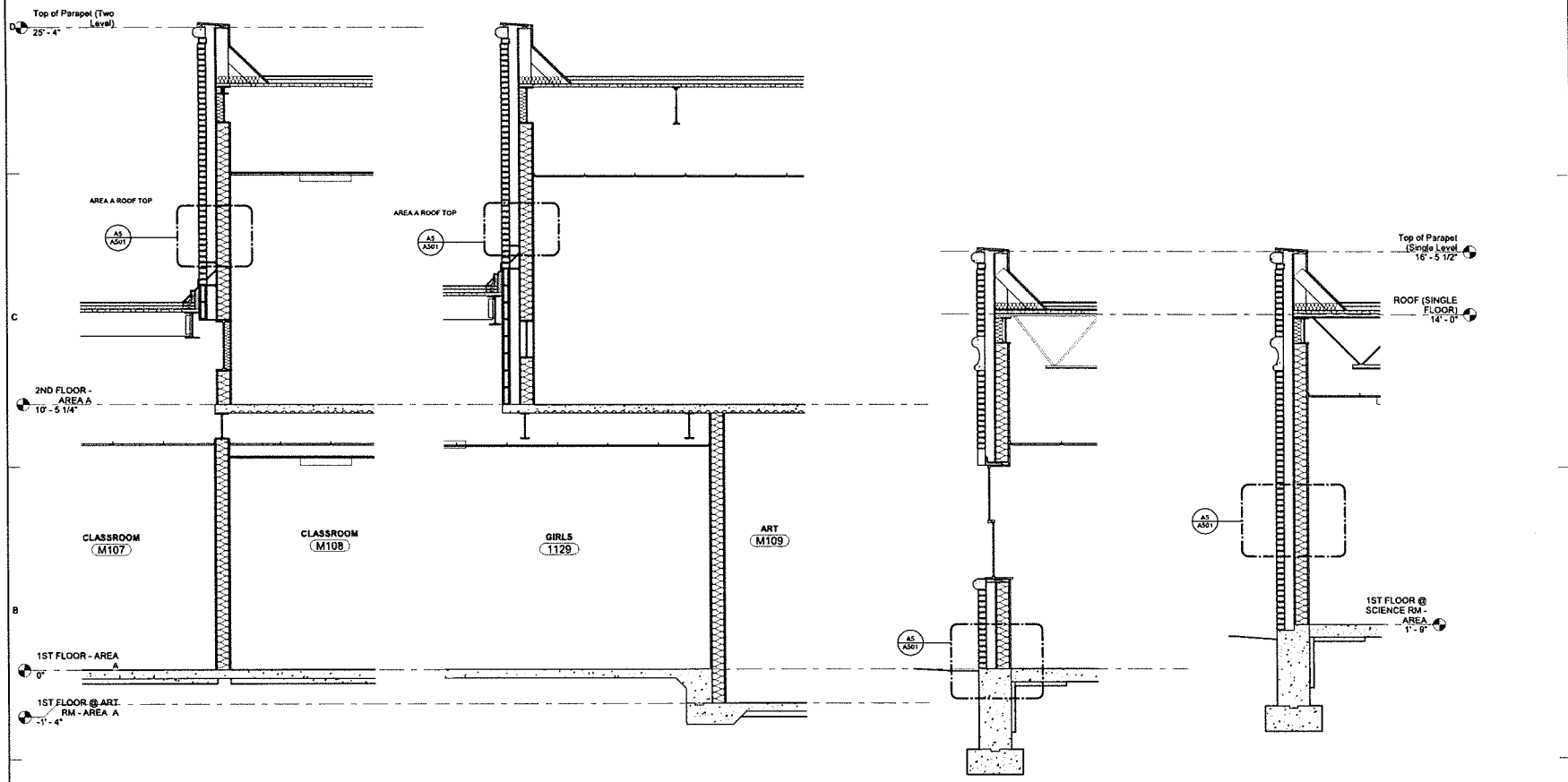

A5 TWO STORY WALL SECTION - AREA A
1/2" = 1'-0"

A4 TWO STORY ABOVE ART ROOM - AREA A
1/2" = 1'-0"

A3 WALL SECTION - AREA A
1/2" = 1'-0"

A2 WALL SECTION @ SCIENCE RM - AREA A
1/2" = 1'-0"

TOWN OF NEWTOWN

OWNER
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WALL SECTIONS - AREA A

AE310

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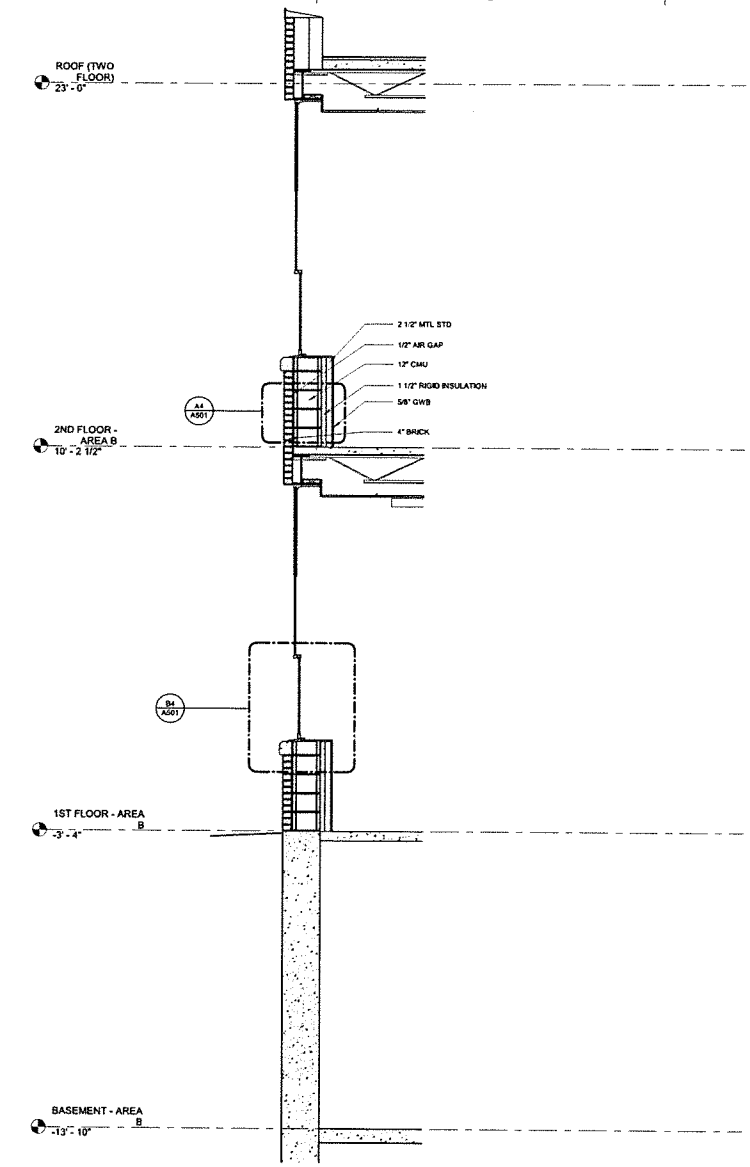
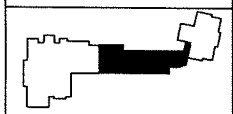


A3 AREA B EXT WALL SECTION
1/2" = 1'-0"

KEY PLAN



AREA B

TOWN OF NEWTOWN

OWNER
HAWLEY ELEMENTARY SCHOOL
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WALL SECTIONS - AREA B

AE311

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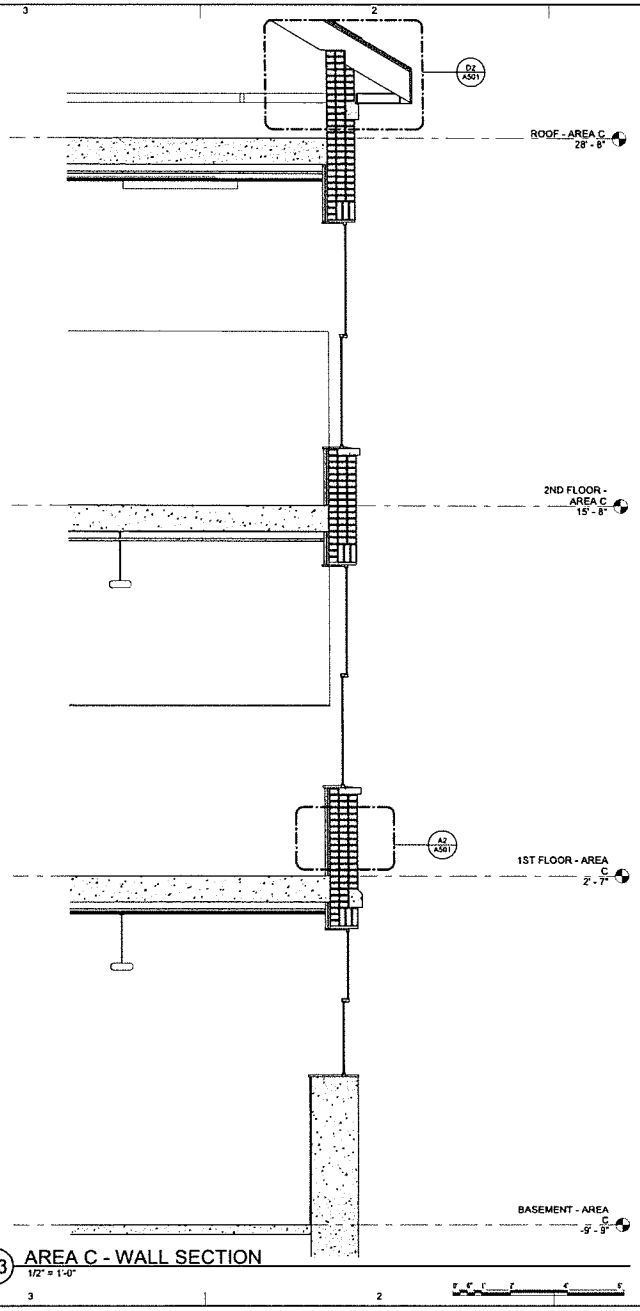
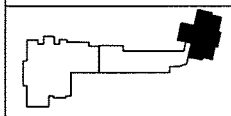


A3 AREA C - WALL SECTION
1/2" = 1'-0"

KEY PLAN



AREA C

OWNER
HAWLEY ELEMENTARY SCHOOL
29 CHURCH HILL ROAD
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WALL SECTIONS - AREA C

AE312

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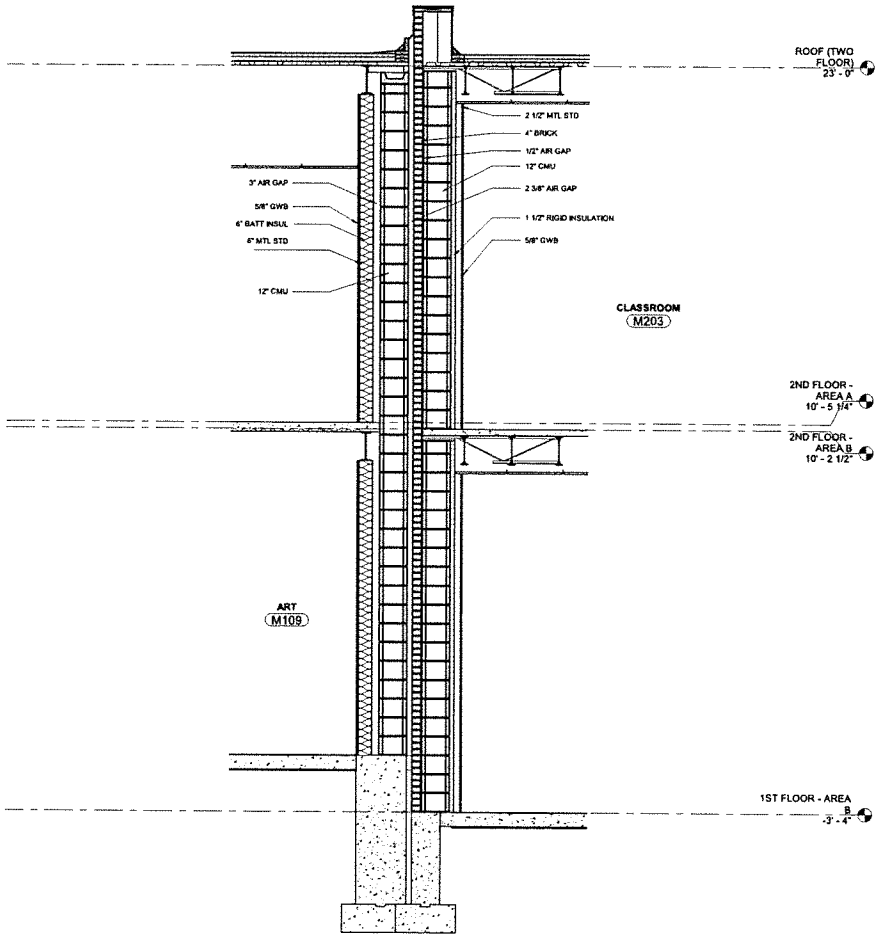

A3 AREA A/B ADJOINING WALLS
1/2" = 1'-0"

KEY PLAN

AREA A
1

TOWN OF NEWTOWN

OWNER
HAWLEY ELEMENTARY SCHOOL
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WALL SECTIONS - AREA A/B JOINT

AE313

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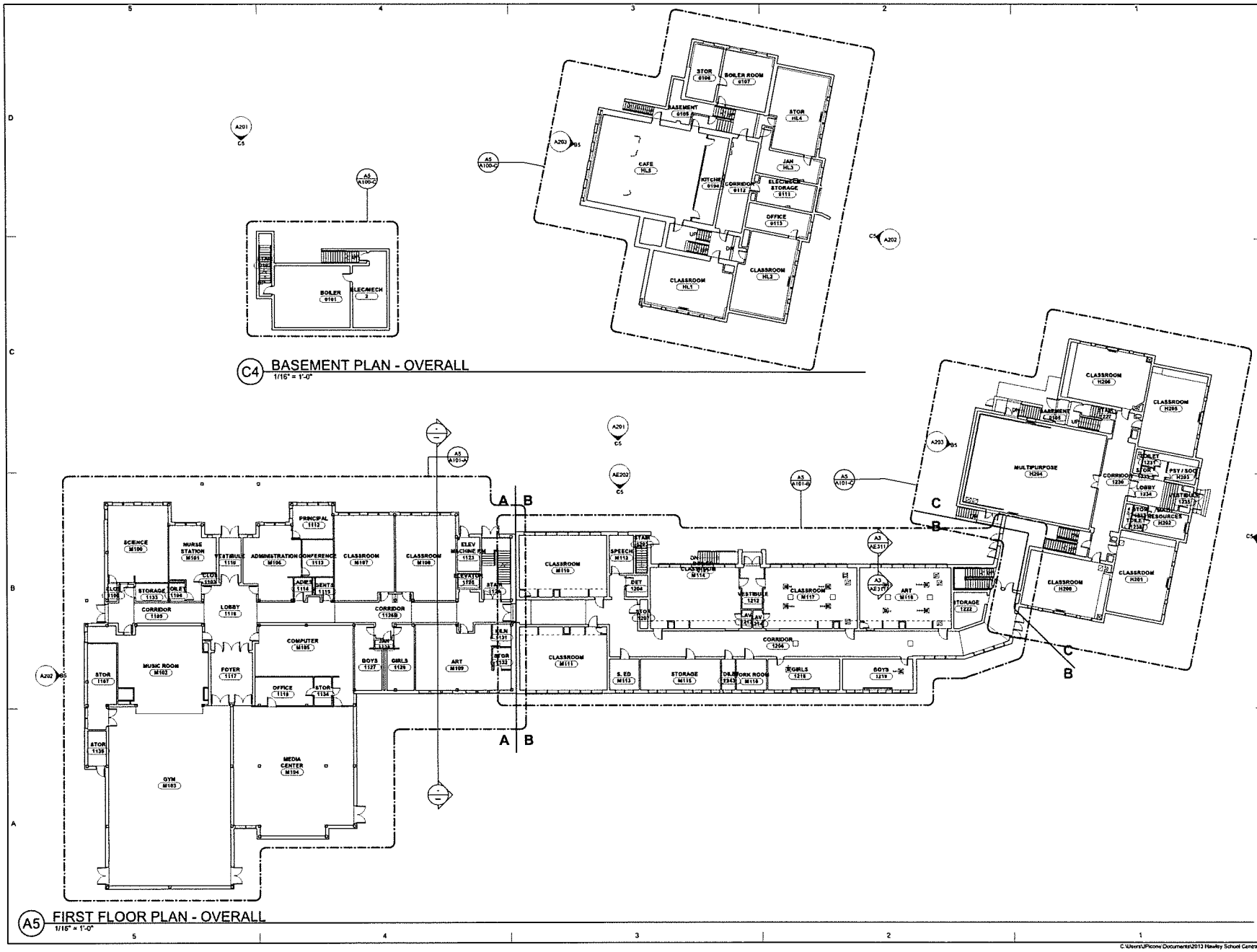

TOWN OF NEWTOWN 1705 CONN

OWNER

HAWLEY ELEMENTARY SCHOOL
29 CHURCH HILL ROAD
NEWTOWN, CT 06470

ARCHITECT

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OVERALL FIRST FLOOR PLAN

A101

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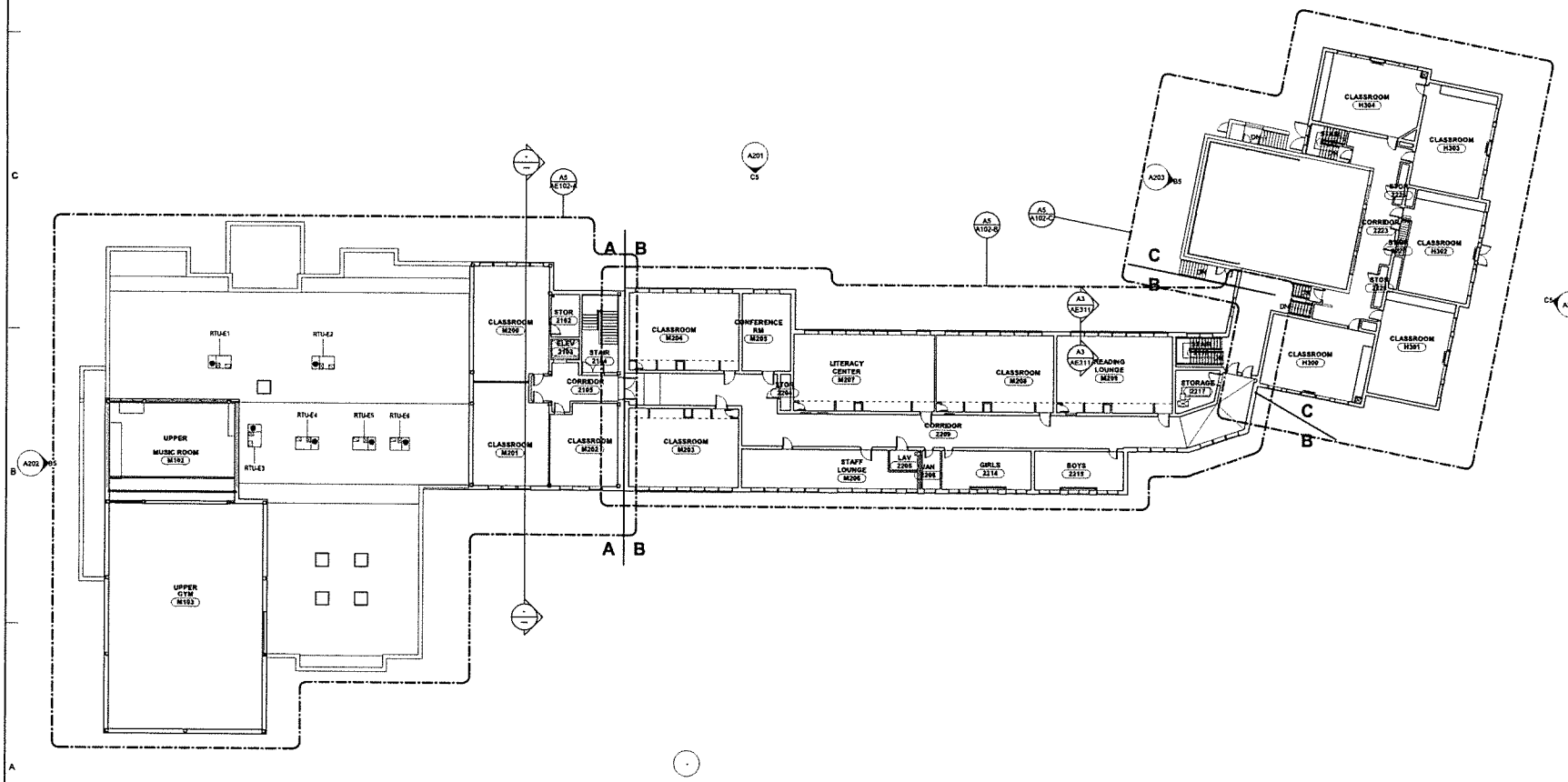

A5 SECOND FLOOR PLAN - OVERALL
1/16" = 1'-0"

TOWN OF NEWTOWN 1705

OWNER
HAWLEY ELEMENTARY SCHOOL
29 CHURCH HILL ROAD
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OVERALL SECOND FLOOR PLAN

A102

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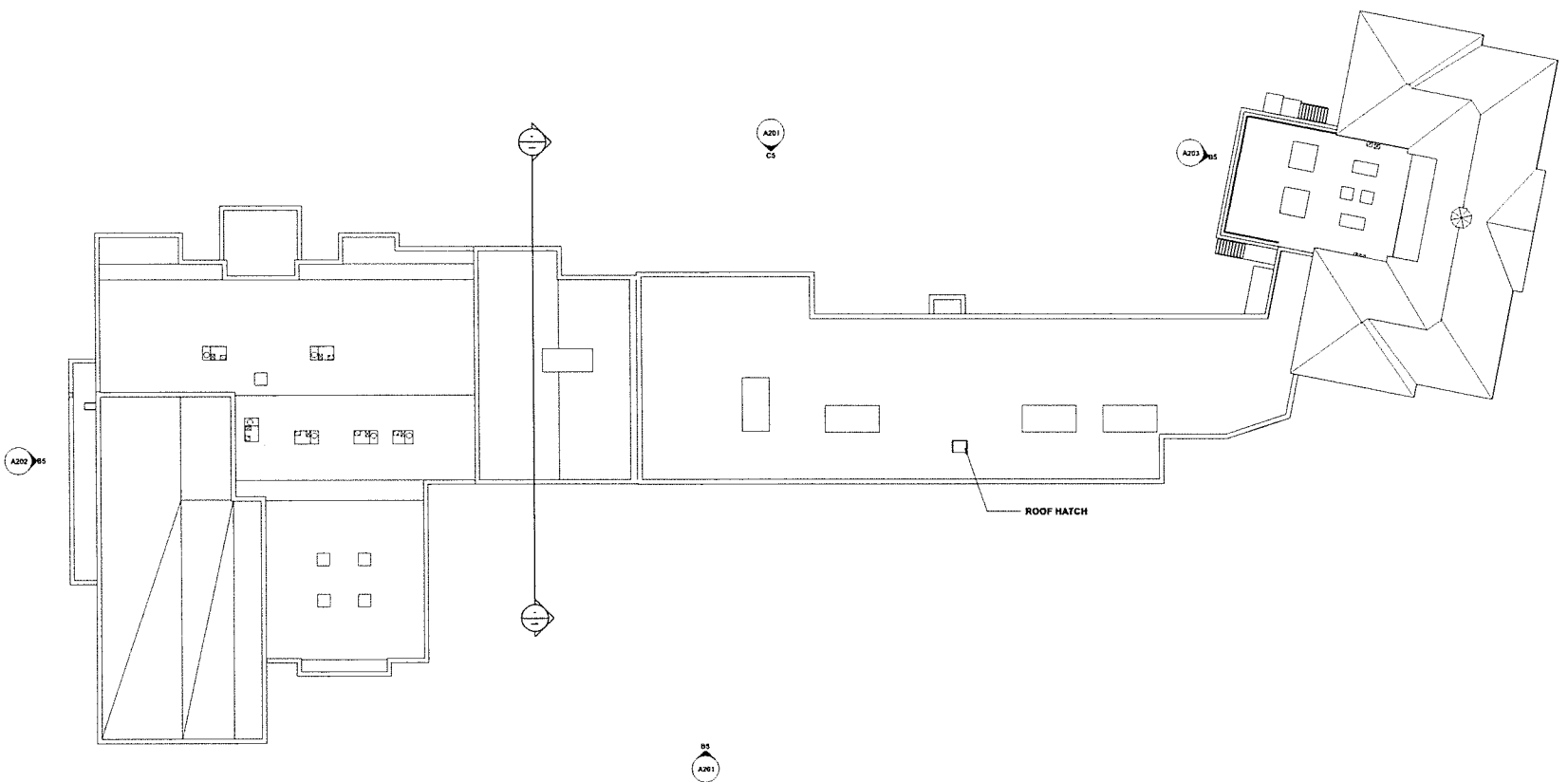

A5 ROOF PLAN - OVERALL
1/16" = 1'-0"

OWNER
HAWLEY ELEMENTARY SCHOOL
29 CHURCH HILL ROAD
NEWTOWN, CT 06470

ARCHITECT
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OVERALL ROOF PLAN

A103

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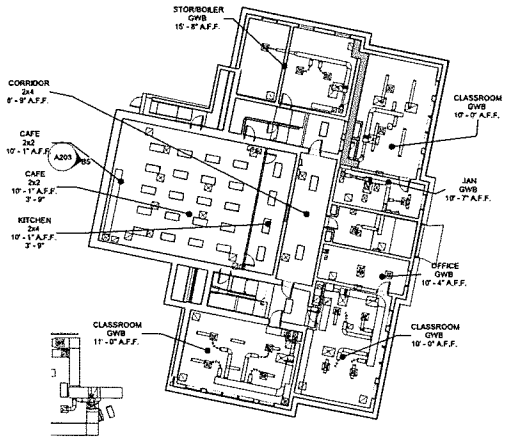
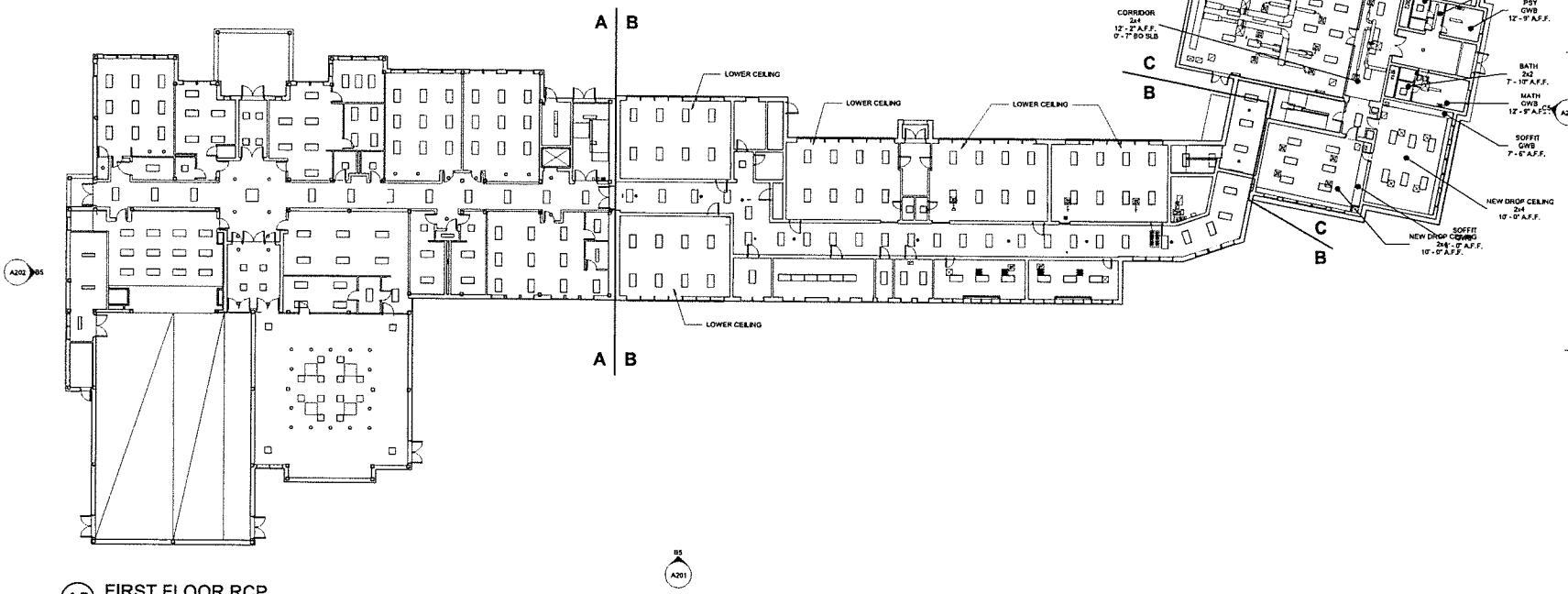


C4 BASEMENT OVERALL RCP (NEW)
1/16" = 1'-0"



A5 FIRST FLOOR RCP
1/16" = 1'-0"

TOWN OF NEWTOWN 1705 CONN.

OWNER
HAWLEY ELEMENTARY SCHOOL
29 CHURCH HILL ROAD
NEWTOWN, CT 06470

ARCHITECT
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OVERALL FIRST FLOOR RCP

A111

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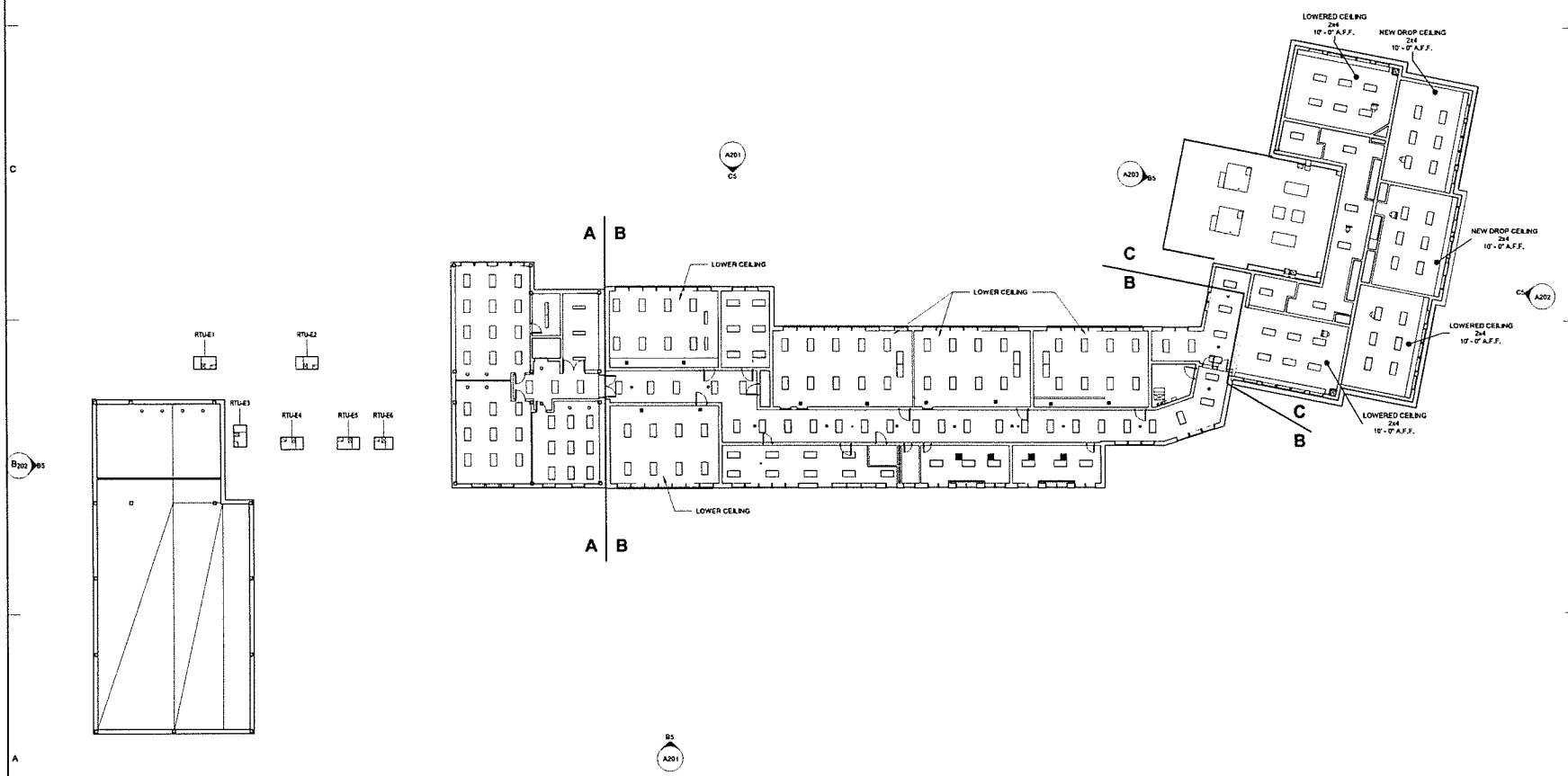

A5 2ND FLR OVERALL RCP
1/16" = 1'-0"

TOWN OF NEWTOWN 1705 CONN

OWNER

HAWLEY ELEMENTARY SCHOOL
29 CHURCH HILL ROAD
NEWTOWN, CT 06470

ARCHITECT

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OVERALL SECOND FLOOR RCP

A112

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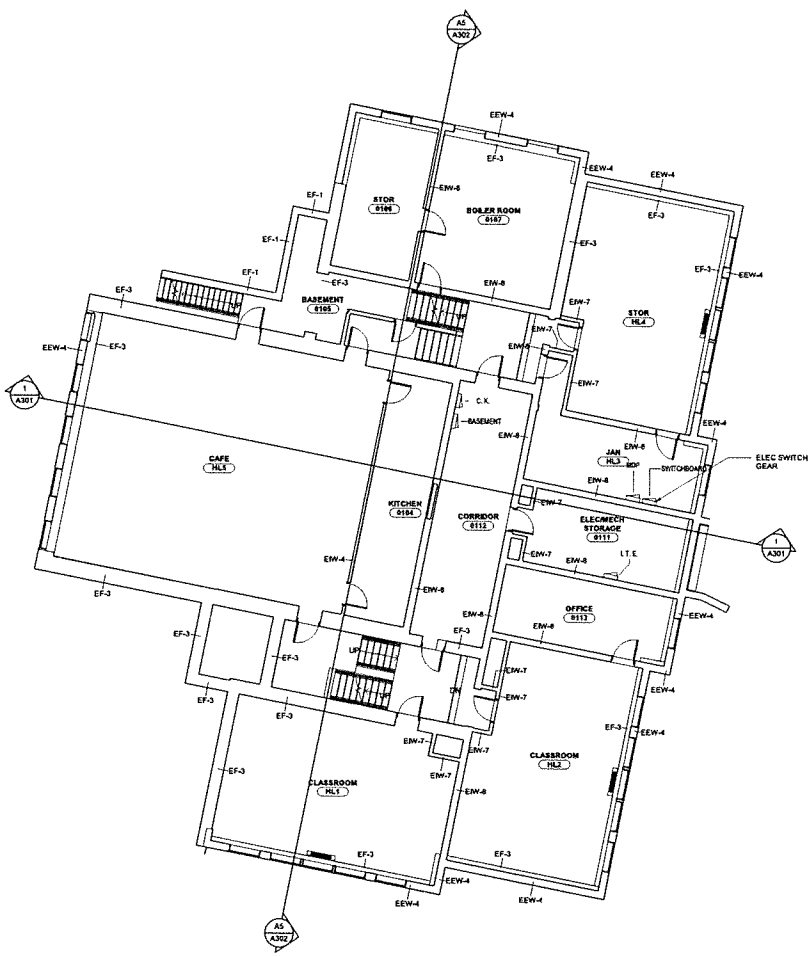

A5 BASEMENT FLOOR PLAN - AREA C
1/8" = 1'-0"

GENERAL NOTES

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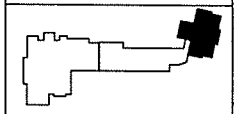
KEYNOTES

KEY PLAN



AREA C

TOWN OF NEWTOWN 1705 CONN.

OWNER

HAWLEY ELEMENTARY SCHOOL
29 CHURCH HILL ROAD
NEWTOWN, CT 06470

ARCHITECT

CWA
CHRISTOPHER WILLIAMS ARCHITECTS, LLC
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203 774 0184 www.cwarchitectsllc.com

ENGINEERS

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Bloomfield, CT 06002
Tel: (860) 286-9171 www.bvhis.com

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SHEET TITLE
BASEMENT PLAN AREA C

A100-C

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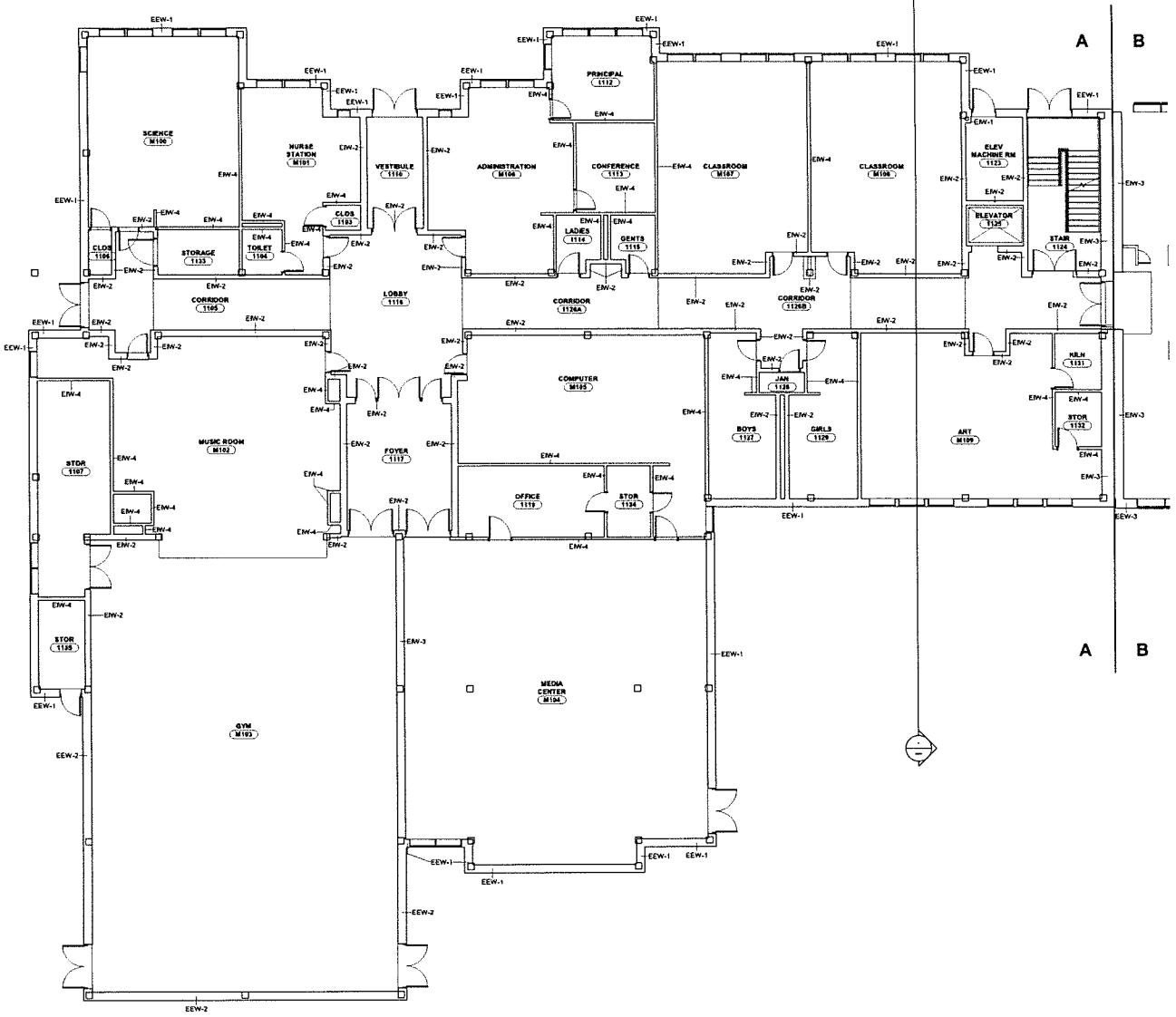

A5 EXISTING FIRST FLOOR PLAN - AREA A
1/8" = 1'-0"

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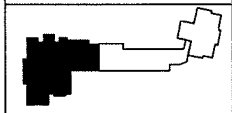
KEY PLAN



AREA A

OWNER
HAWLEY ELEMENTARY SCHOOL
29 CHURCH HILL ROAD
NEWTOWN, CT 06470

ARCHITECT
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SHEET TITLE
FIRST FLOOR PLAN
AREA A

A101-A

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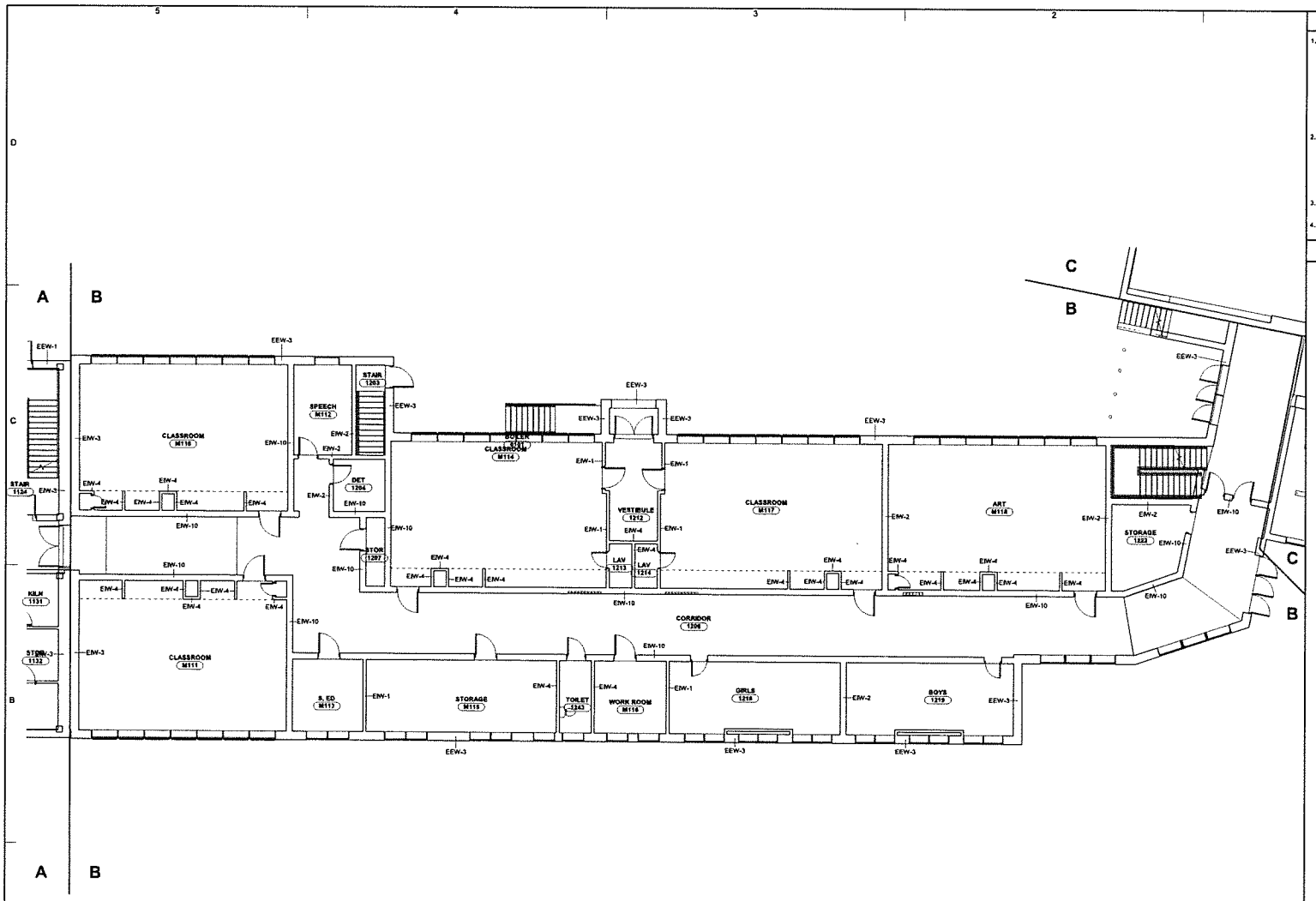

A5 EXISTING FIRST FLOOR PLAN - AREA B
1/8" = 1'-0"

GENERAL NOTES

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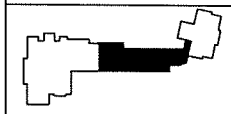

TOWN OF NEWTOWN 1705 CONN.

OWNER
HAWLEY ELEMENTARY SCHOOL
28 CHURCH HILL ROAD
NEWTOWN, CT 06470

ARCHITECT
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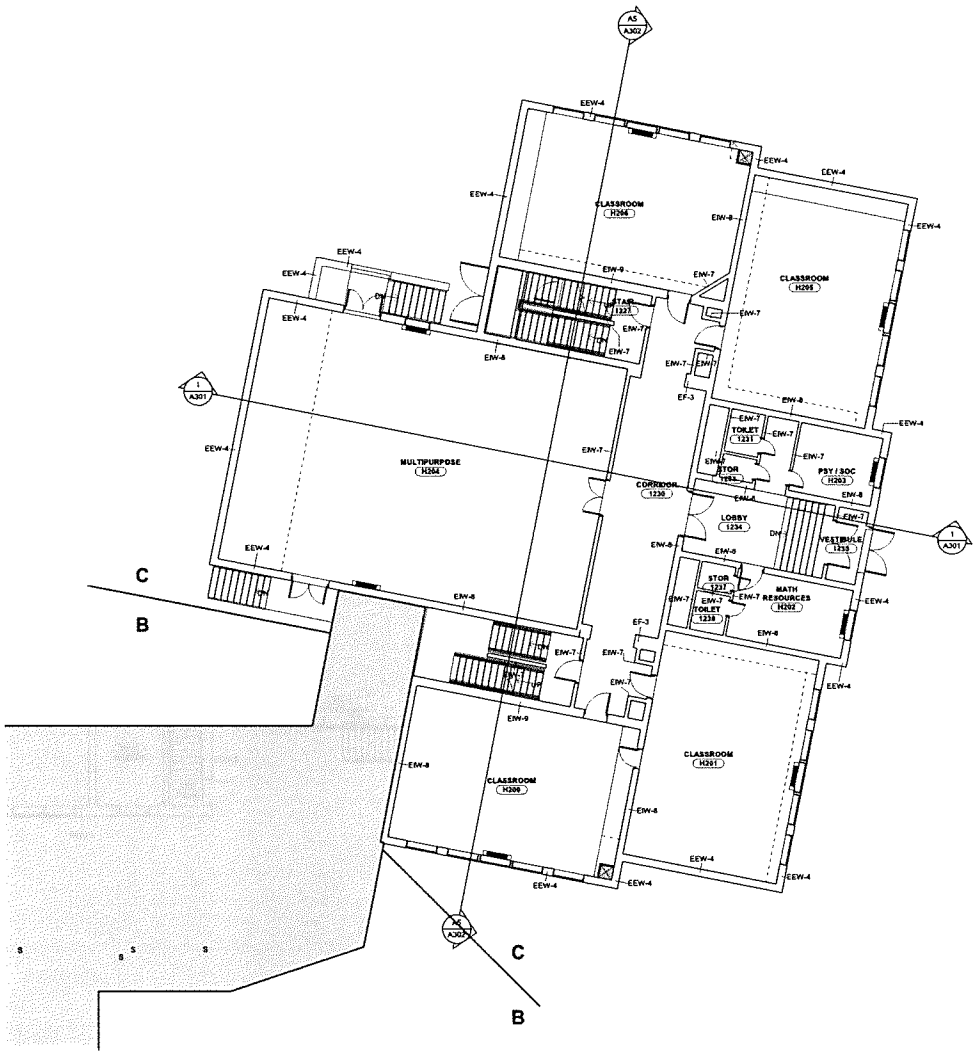
SHEET TITLE
FIRST FLOOR PLAN
AREA B

A101-B



A5 FIRST FLOOR PLAN - AREA C
1/8" = 1'-0"

GENERAL NOTES

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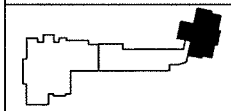

AREA C

TOWN OF NEWTOWN 1705 CONN

OWNER

HAWLEY ELEMENTARY SCHOOL
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NEWTOWN, CT 06470

ARCHITECT

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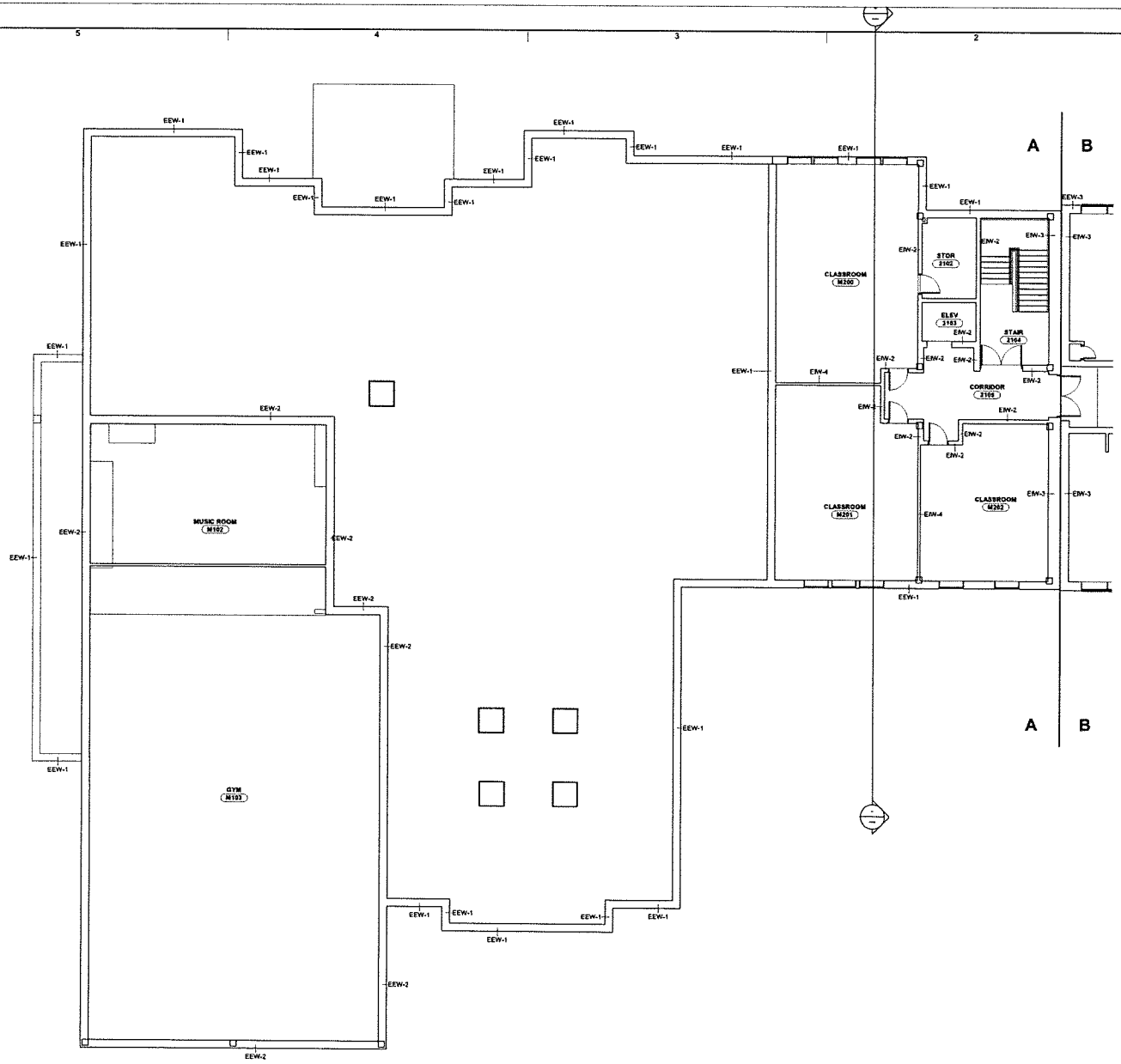
FIRST FLOOR PLAN
AREA C

A101-C



A5 EXISTING SECOND FLOOR PLAN - AREA A
1/8" = 1'-0"

GENERAL NOTES

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KEYNOTES

KEY PLAN

AREA A
1

TOWN OF NEWTOWN 1705 CONN.

OWNER
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NEWTOWN, CT 06470

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SHEET TITLE
SECOND FLOOR PLAN
AREA A

A102-A

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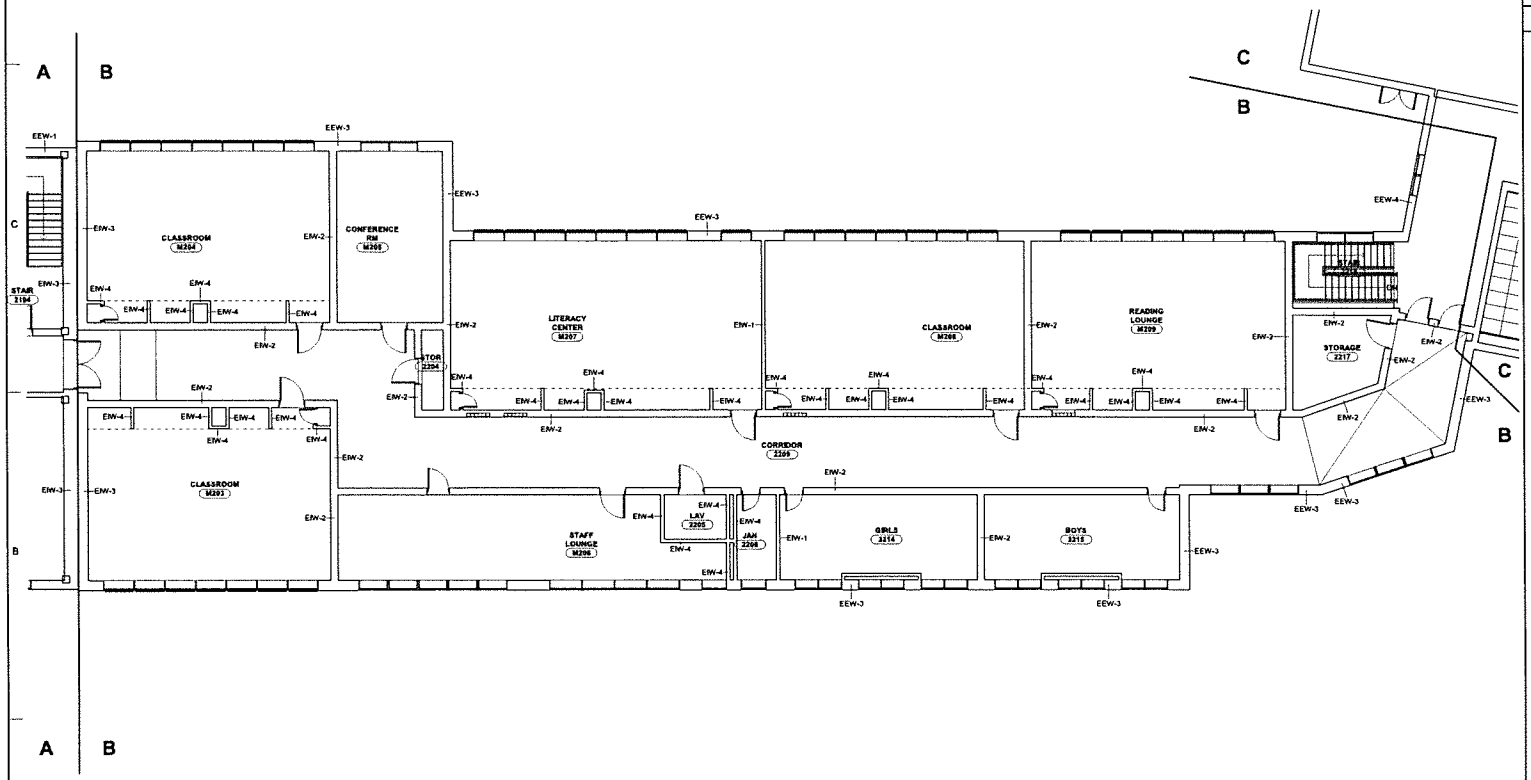

A5 EXISTING SECOND FLOOR PLAN - AREA B
1/8" = 1'-0"

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KEYNOTES

KEY PLAN

AREA B

TOWN OF NEWTOWN 1705 CONN.

OWNER
HAWLEY ELEMENTARY SCHOOL
29 CHURCH HILL ROAD
NEWTOWN, CT 06470

ARCHITECT
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CHRISTOPHER WILLIAMS ARCHITECTS, LLC
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SHEET TITLE
SECOND FLOOR PLAN AREA B

A102-B

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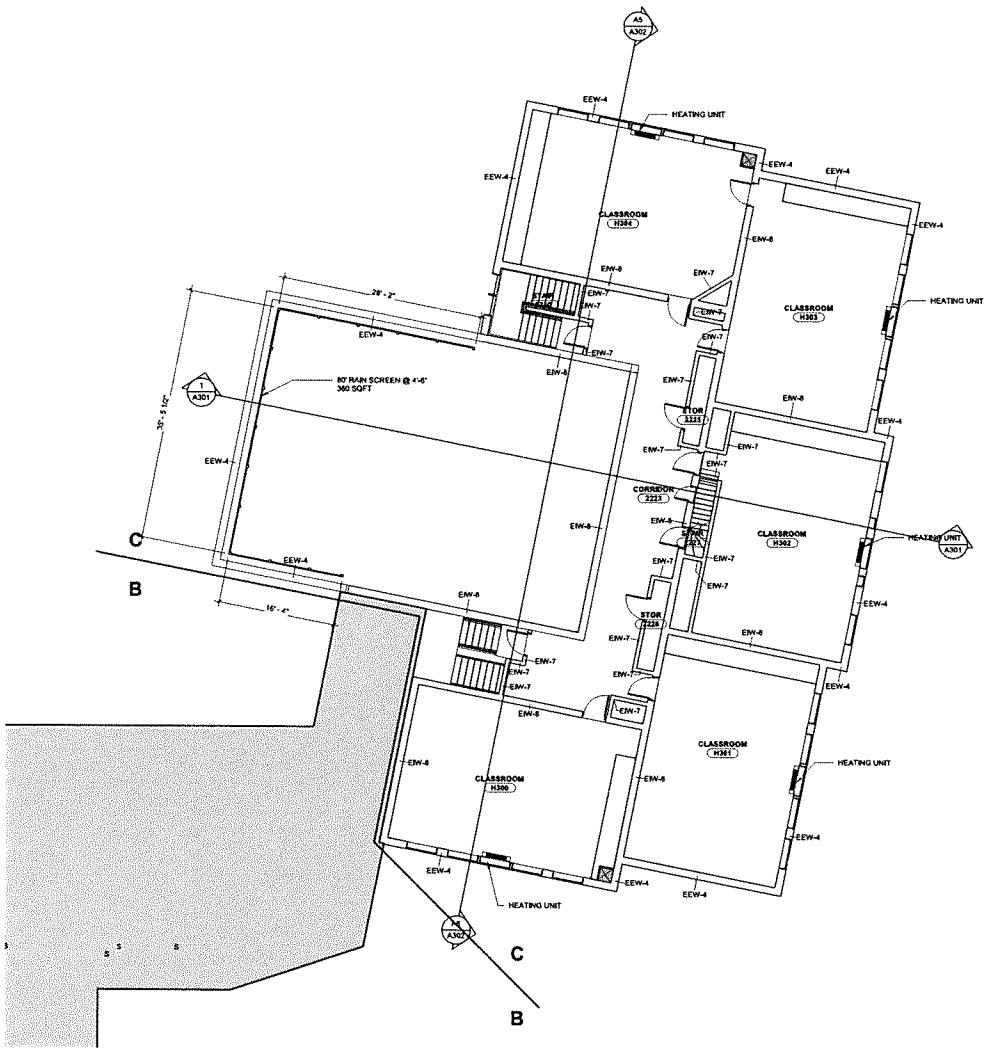

A5 SECOND FLOOR PLAN - AREA B
1/8" = 1'-0"

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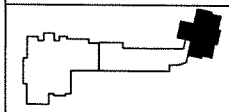

AREA C

TOWN OF NEWTOWN 1705 CONN

OWNER
HAWLEY ELEMENTARY SCHOOL
29 CHURCH HILL ROAD
NEWTOWN, CT 06470

ARCHITECT
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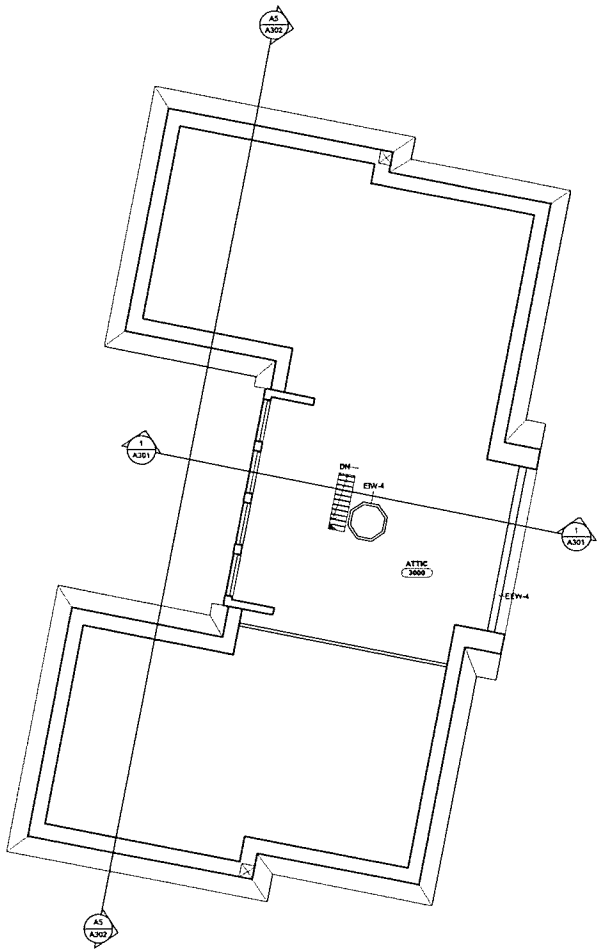
SECOND FLOOR PLAN
AREA C

A102-C



A4 ATTIC PLAN - AREA C
1/8" = 1'-0"

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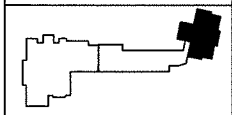

AREA C

TOWN OF NEWTOWN

OWNER
HAWLEY ELEMENTARY SCHOOL
29 CHURCH HILL ROAD
NEWTOWN, CT 06470

ARCHITECT
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ATTIC PLAN AREA C

A103-C

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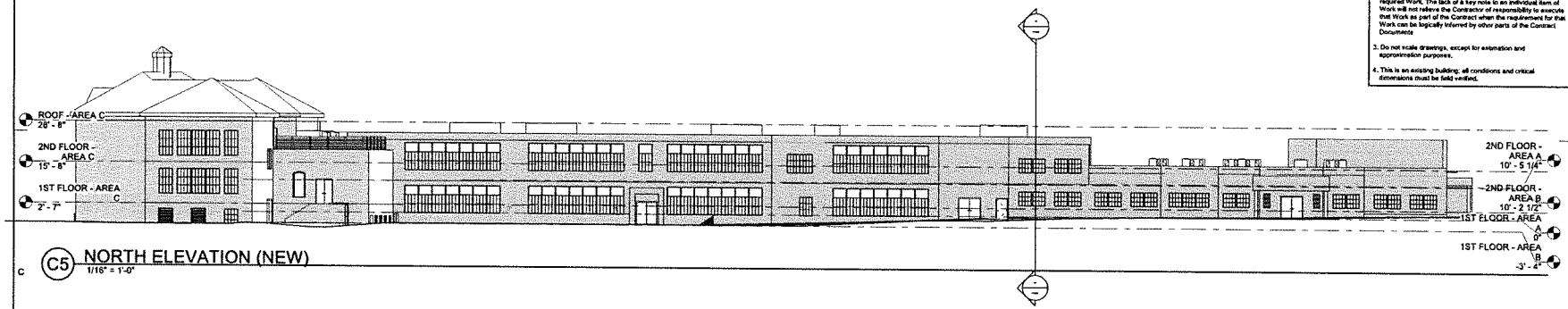
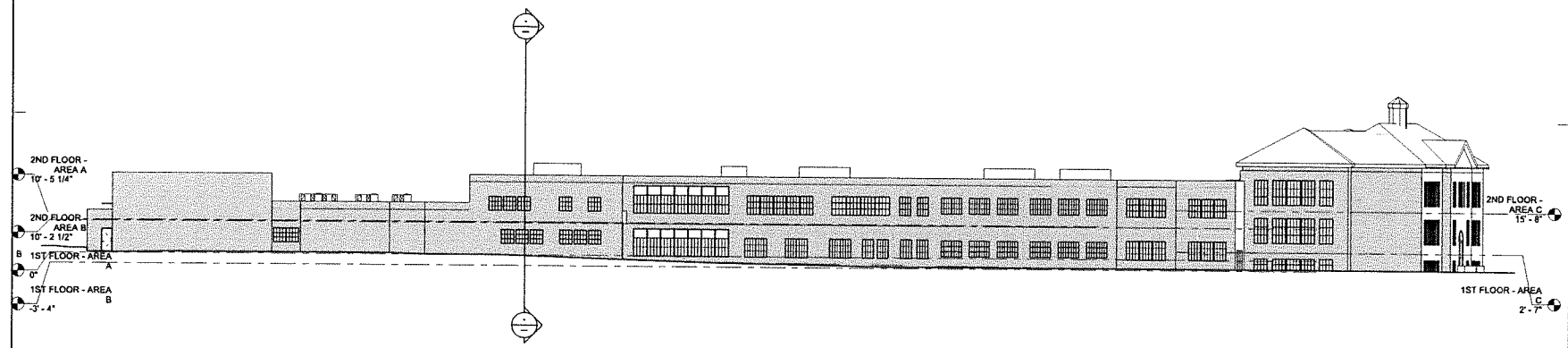


C5 NORTH ELEVATION (NEW)
1/16" = 1'-0"



B5 SOUTH ELEVATION (NEW)
1/16" = 1'-0"

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TOWN OF NEWTOWN 1705 CONN.

OWNER

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EXTERIOR ELEVATIONS

A201

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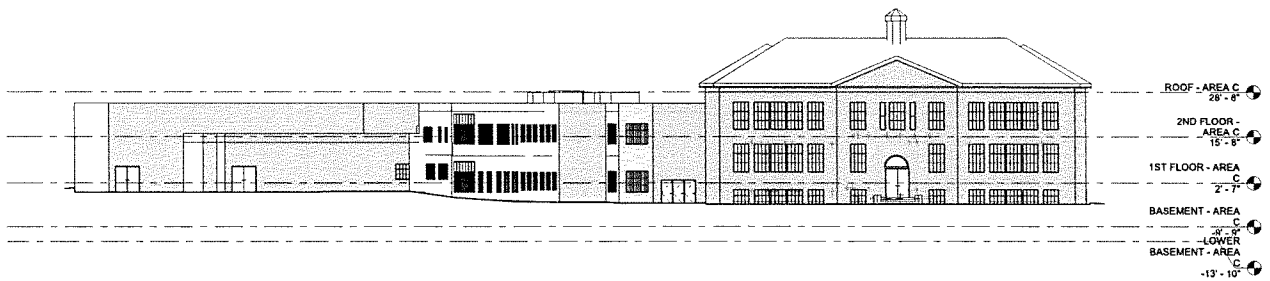
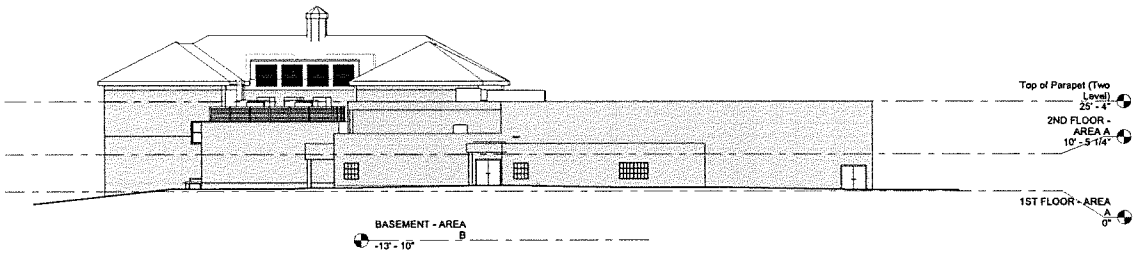


C5 EAST ELEVATION (NEW)
1/16" = 1'-0"



B5 WEST ELEVATION (NEW)
1/16" = 1'-0"

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SHEET TITLE
EXTERIOR ELEVATIONS

A202

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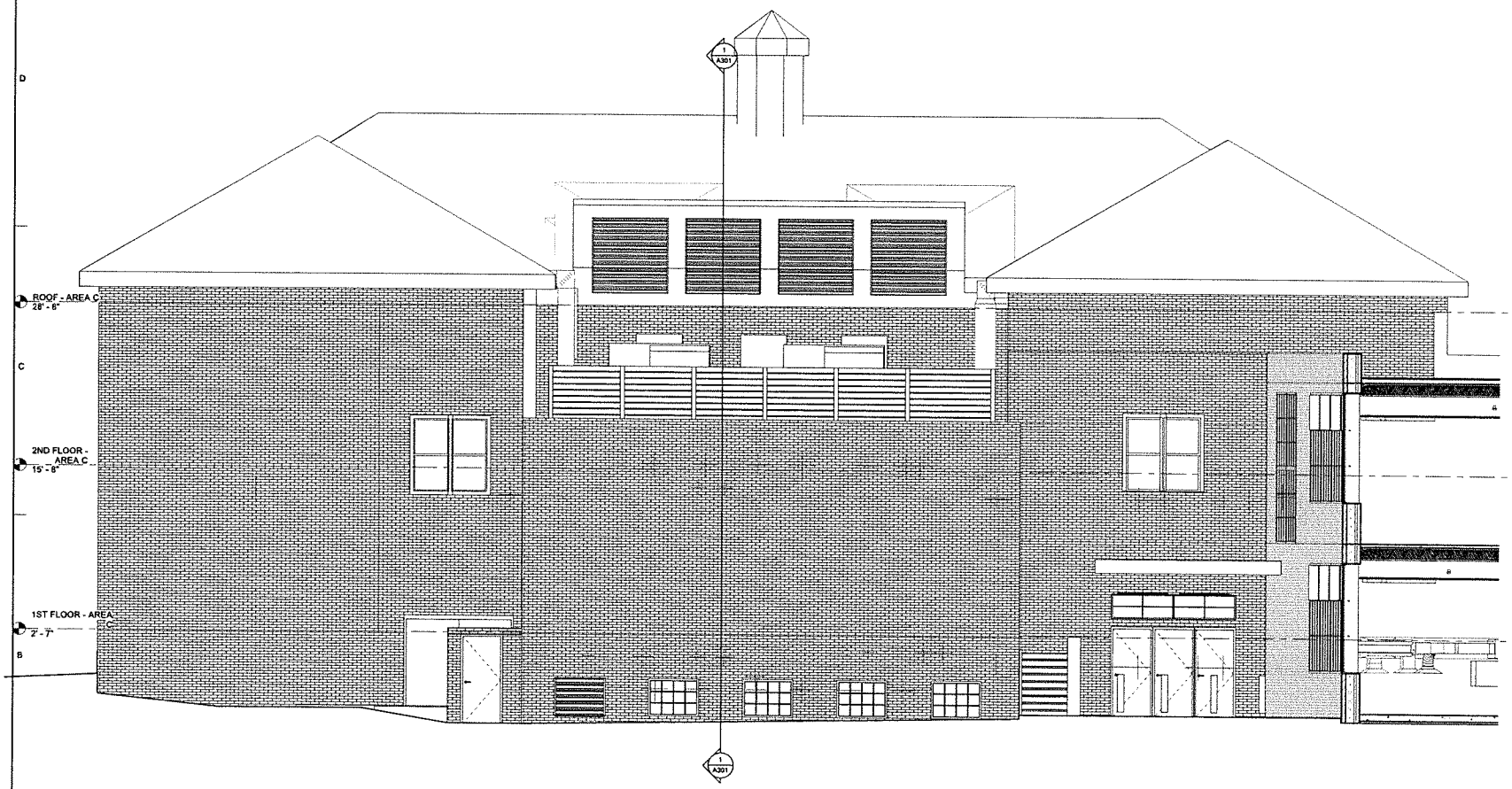

B5 ELEVATION AREA C
1/4" = 1'-0"

OWNER
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BVH integrated services
206 West Newberry Road South
Bloomfield, CT 06002
Tel: (860) 286-9171 www.bvhis.com

ENVIRONMENTAL CONSULTANT
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PROGRESS DRAWINGS
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SHEET TITLE
ELEVATION AREA C

A203

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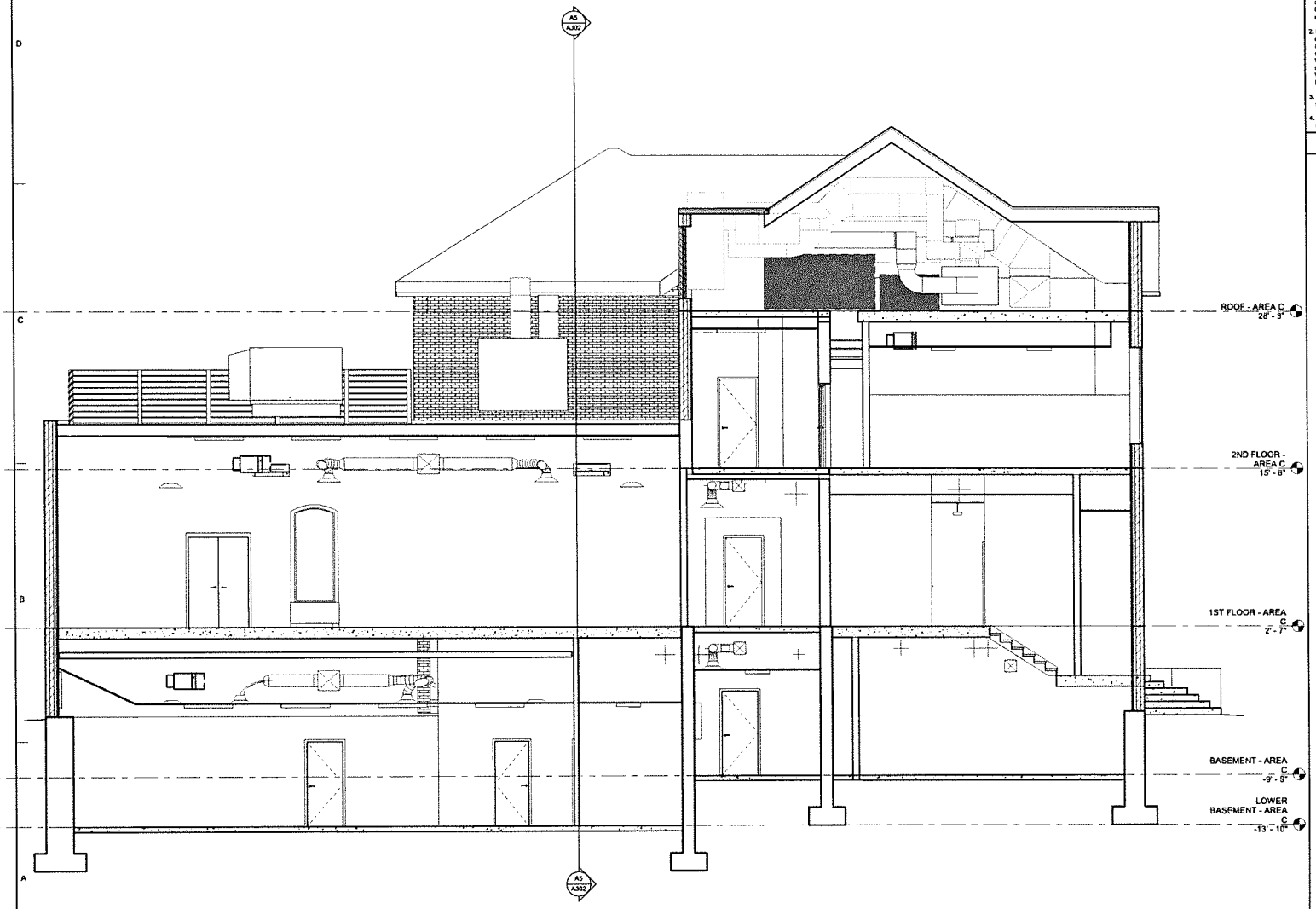

1 SECTION THRU LOUVER
1/4" = 1'-0"

GENERAL NOTES

1. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of all Work by the Contractor. The Contract Documents are complementary, and what is required by one shall be as binding as if required by all. Where a conflict within the Contract Documents exists, the Contractor shall provide the better quality or greater quantity of work in accordance with the Architect's resolution without any increase in the Contract sum. Organization of the Specifications into divisions, sections and articles, and arrangement of sheets shall not control the Contractor in dividing the work among subcontractors, or in establishing the extent of Work to be performed by any trade.

2. REFERENCE KEY NOTES and SHEET KEY NOTES are intended to indicate and clarify the extent and requirements of the Work; they do not indicate every location or occurance of required Work. The lack of a key note to an individual item of Work will not relieve the Contractor of responsibility to execute that Work as part of the Contract when the requirement for that Work can be logically inferred by other parts of the Contract Documents

3. Do not scale drawings, except for estimation and approximation purposes.

4. This is an existing building, all conditions and critical dimensions must be field verified.

KEYNOTES

TOWN OF NEWTOWN 1705 CONN

OWNER

HAWLEY ELEMENTARY SCHOOL
29 CHURCH HILL ROAD
NEWTOWN, CT 06470

ARCHITECT

CWA
CHRISTOPHER WILLIAMS ARCHITECTS, LLC
85 Willow Street New Haven, CT 06511
203 776 0184 www.cwaarchitectsllc.com

ENGINEERS

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SECTION THRU LOUVER - AREA C

A301

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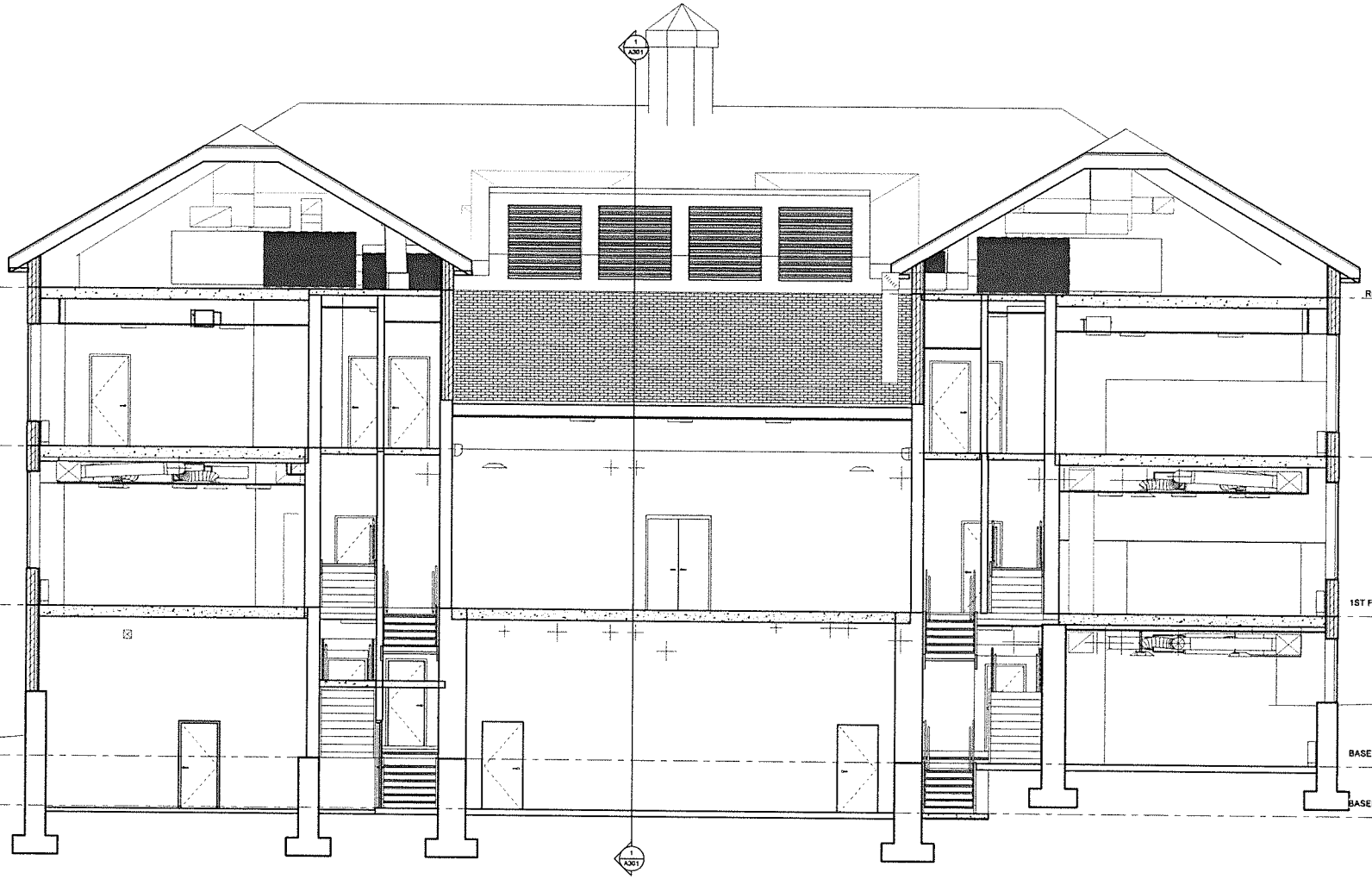

A5 SECTION OF LOUVER
1/4" = 1'-0"

TOWN OF NEWTOWN

OWNER
HAWLEY ELEMENTARY SCHOOL
29 CHURCH HILL ROAD
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SECTION - AREA C
LOUVER

A302

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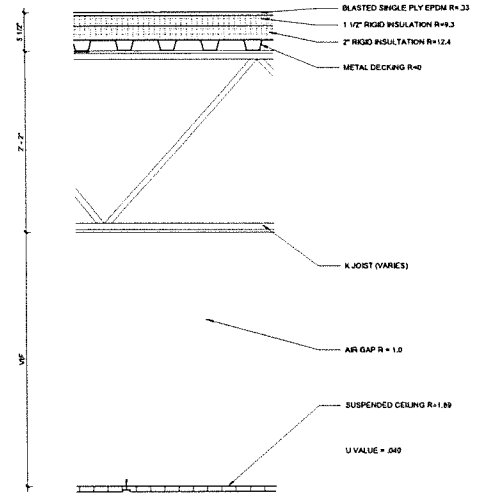
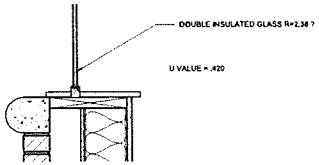
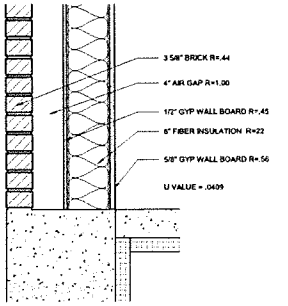


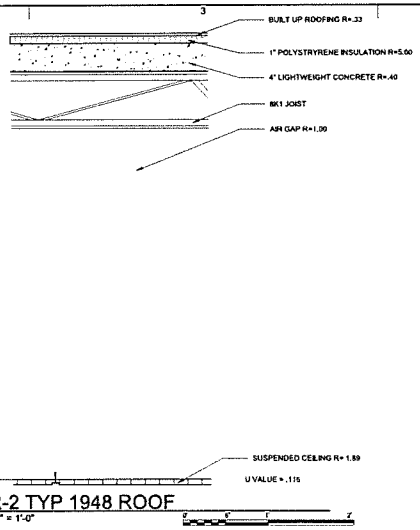
C5 ER-1 ROOF DETAIL - AREA A
1 1/2" = 1'-0"



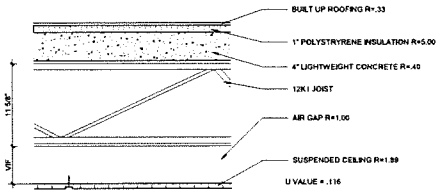
B5 WINDOW DETAIL - AREA A
1 1/2" = 1'-0"



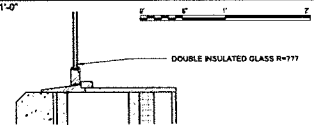
A5 EW-3 WALL DETAIL - AREA A
1 1/2" = 1'-0"



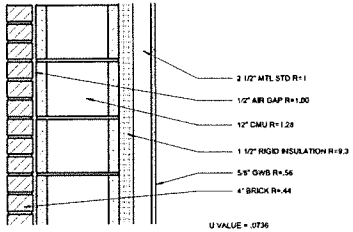
D4 ER-2 TYP 1948 ROOF
1 1/2" = 1'-0"



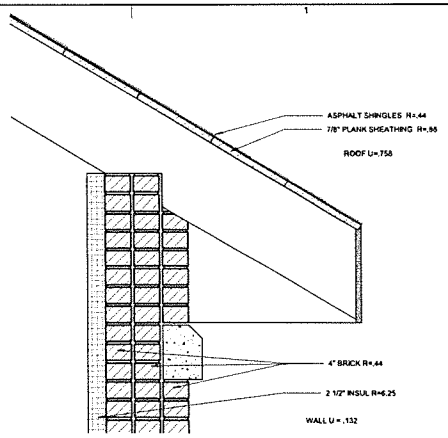
C4 ER-2 TYP 1948 CLASSROOM ROOF
1 1/2" = 1'-0"



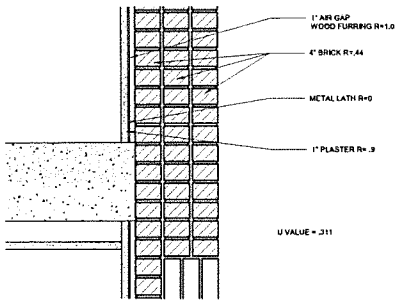
B4 WINDOW DETAIL - AREA B
1 1/2" = 1'-0"



A4 EW-4 WALL DETAIL - AREA B
1 1/2" = 1'-0"



D2 ER-3 ROOF DETAIL - AREA C
1 1/2" = 1'-0"



A2 EW-5 WALL DETAIL - AREA C
1 1/2" = 1'-0"

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WALL DETAILS

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ROOM THERMAL STUDY

NAME	ROOM #	LEVEL	WALL TYPE	EXT WALL SF	FOUNDATION SF	WINDOW SF	DOOR SF	VOLUME	SLAB AREA	ROOF AREA	ROOF TYPE
AREA A - 1997											
CLOS	1103	1ST FLOOR - AREA A						301.58 CF		22 SF	ER-1
TOILET	1104	1ST FLOOR - AREA A						360.40 CF	43 SF	43 SF	ER-1
CORRIDOR	1105	1ST FLOOR - AREA A	EEW-1	64 SF		0 SF	47 SF	2714.59 CF	350 SF	350 SF	ER-1
CLOS	1106	1ST FLOOR - AREA A						303.14 CF	25 SF	25 SF	ER-1
STOR	1107	1ST FLOOR - AREA A	EEW-1	424 SF		36 SF	0 SF	2445.17 CF	337 SF	337 SF	ER-1
VESTIBULE	1110	1ST FLOOR - AREA A	EEW-1	82 SF		0 SF	47 SF	1319.92 CF	152 SF	152 SF	ER-1
PRINCIPAL	1112	1ST FLOOR - AREA A	EEW-1	331 SF		72 SF	0 SF	1865.51 CF	207 SF	207 SF	ER-1
CONFERENCE	1113	1ST FLOOR - AREA A						1563.05 CF	174 SF	174 SF	ER-1
LADIES	1114	1ST FLOOR - AREA A						477.21 CF	57 SF	57 SF	ER-1
GENTS	1115	1ST FLOOR - AREA A						477.21 CF	57 SF	57 SF	ER-1
LOBBY	1116	1ST FLOOR - AREA A						5770.03 CF	504 SF	504 SF	ER-1
FOYER	1117	1ST FLOOR - AREA A						3603.37 CF	318 SF	318 SF	ER-1
OFFICE	1119	1ST FLOOR - AREA A						2261.04 CF	251 SF	251 SF	ER-1
ELEV MACHINE RM	1123	1ST FLOOR - AREA A	EEW-1	74 SF		0 SF	23 SF	1045.75 CF	116 SF		
STAIR	1124	1ST FLOOR - AREA A	EEW-1	108 SF		0 SF	47 SF	3131.85 CF	272 SF		
ELEVATOR	1125	1ST FLOOR - AREA A						559.44 CF	56 SF		
CORRIDOR	1126	1ST FLOOR - AREA A						9612.16 CF	928 SF	928 SF	ER-1
BOYS	1127	1ST FLOOR - AREA A	EEW-1	158 SF		0 SF	0 SF	1946.12 CF	241 SF	241 SF	ER-1
JAN	1128	1ST FLOOR - AREA A						195.41 CF	22 SF		
GIRLS	1129	1ST FLOOR - AREA A	EEW-1	151 SF		0 SF	0 SF	1991.87 CF	246 SF		
KILN	1131	1ST FLOOR - AREA A						651.75 CF	63 SF		
STOR	1132	1ST FLOOR - AREA A						633.13 CF	61 SF		
STORAGE	1133	1ST FLOOR - AREA A						634.66 CF	88 SF	88 SF	ER-1
STOR	1134	1ST FLOOR - AREA A						674.99 CF	75 SF	75 SF	ER-1
STOR	1135	1ST FLOOR - AREA A	EEW-1	292 SF		0 SF	22 SF	1009.29 CF	98 SF	98 SF	ER-1
SCIENCE	M100	1ST FLOOR - AREA A	EEW-1	803 SF		90 SF	0 SF	6329.41 CF	703 SF	703 SF	ER-1
NURSE STATION	M101	1ST FLOOR - AREA A	EEW-1	272 SF		45 SF	0 SF	3549.26 CF	394 SF	394 SF	ER-1
MUSIC ROOM	M102	1ST FLOOR - AREA A	EEW-2	1403 SF		18 SF	0 SF	15708.78 CF	1148 SF	1148 SF	ER-1
GYM	M103	1ST FLOOR - AREA A	EEW-2	3901 SF		0 SF	93 SF	74863.59 CF	3256 SF	3256 SF	ER-1
MEDIA CENTER	M104	1ST FLOOR - AREA A	EEW-1	1355 SF		83 SF	0 SF	22923.18 CF	2289 SF	2289 SF	ER-1
COMPUTER	M105	1ST FLOOR - AREA A	EEW-1	66 SF		18 SF	0 SF	7618.60 CF	845 SF	845 SF	ER-1
ADMINISTRATION	M106	1ST FLOOR - AREA A	EEW-1	297 SF		45 SF	0 SF	4882.26 CF	542 SF	542 SF	ER-1
CLASSROOM	M107	1ST FLOOR - AREA A	EEW-1	277 SF		72 SF	0 SF	6499.79 CF	750 SF	750 SF	ER-1
CLASSROOM	M108	1ST FLOOR - AREA A	EEW-1	325 SF		72 SF	0 SF	6314.04 CF	756 SF		
ART	M109	1ST FLOOR - AREA A	EEW-1	343 SF		108 SF	0 SF	8264.83 CF	800 SF		
STOR	2102	2ND FLOOR - AREA A	EEW-1	107 SF		0 SF	0 SF	1045.75 CF		116 SF	ER-1
STAIR	2104	2ND FLOOR - AREA A	EEW-1	170 SF		0 SF	0 SF	2421.52 CF		272 SF	ER-1
CORRIDOR	2105	2ND FLOOR - AREA A						2243.29 CF		264 SF	ER-1
CLASSROOM	M200	2ND FLOOR - AREA A	EEW-1	816 SF		72 SF	0 SF	7429.91 CF		822 SF	ER-1
CLASSROOM	M201	2ND FLOOR - AREA A	EEW-1	663 SF		54 SF	0 SF	6425.58 CF		711 SF	ER-1
CLASSROOM	M202	2ND FLOOR - AREA A	EEW-1	256 SF		36 SF	0 SF	4670.44 CF		517 SF	ER-1
AREA B - 1948											
BOILER	0101	BASEMENT - AREA B			1605 SF			7240.64 CF	716 SF		
STAIR	0102	BASEMENT - AREA B			521 SF			970.62 CF	123 SF		
STAIR	1203	1ST FLOOR - AREA B	EEW-3	231 SF		23 SF	0 SF	938.56 CF			
CORRIDOR	1206	1ST FLOOR - AREA B	EEW-3	933 SF		240 SF	63 SF	25031.95 CF	2674 SF		
VESTIBULE	1212	1ST FLOOR - AREA B	EEW-3	85 SF		43 SF	0 SF	1629.62 CF			
GIRLS	1218	1ST FLOOR - AREA B	EEW-3	290 SF		103 SF	0 SF	2859.87 CF	327 SF		
BOYS	1219	1ST FLOOR - AREA B	EEW-3	460 SF		103 SF	0 SF	2792.87 CF	319 SF		
STOR	1222	1ST FLOOR - AREA B						1799.20 CF	153 SF		
TOILET	1243	1ST FLOOR - AREA B	EEW-3	57 SF		21 SF	0 SF	551.25 CF	63 SF		
CLASSROOM	M110	1ST FLOOR - AREA B	EEW-3	226 SF		263 SF	0 SF	9050.50 CF	799 SF		
CLASSROOM	M111	1ST FLOOR - AREA B	EEW-3	220 SF		263 SF	0 SF	9145.86 CF	921 SF		
SPEECH	M112	1ST FLOOR - AREA B	EEW-3	113 SF		24 SF	0 SF	1269.64 CF	141 SF		
S. ED	M113	1ST FLOOR - AREA B	EEW-3	125 SF		42 SF	0 SF	1207.56 CF	139 SF		
CLASSROOM	M114	1ST FLOOR - AREA B	EEW-3	203 SF		263 SF	0 SF	9337.85 CF			
STORAGE	M115	1ST FLOOR - AREA B	EEW-3	324 SF		105 SF	0 SF	3152.46 CF	374 SF		
WORK ROOM	M116	1ST FLOOR - AREA B	EEW-3	124 SF		42 SF	0 SF	1176.22 CF	142 SF		
CLASSROOM	M117	1ST FLOOR - AREA B	EEW-3	231 SF		263 SF	0 SF	9546.00 CF	853 SF		
ART	M118	1ST FLOOR - AREA B	EEW-3	234 SF		263 SF	0 SF	9373.90 CF	835 SF		
STOR	2204	2ND FLOOR - AREA B						443.16 CF		35 SF	ER-2
LAV	2205	2ND FLOOR - AREA B						491.02 CF		55 SF	ER-2
JAN	2206	2ND FLOOR - AREA B	EEW-3	63 SF		21 SF	0 SF	594.07 CF		67 SF	ER-2
CORRIDOR	2209	2ND FLOOR - AREA B	EEW-3	946 SF		276 SF	0 SF	22515.45 CF		2498 SF	ER-2
GIRLS	2214	2ND FLOOR - AREA B	EEW-3	264 SF		103 SF	0 SF	2822.68 CF		323 SF	ER-2
BOYS	2215	2ND FLOOR - AREA B	EEW-3	445 SF		103 SF	0 SF	2787.40 CF		319 SF	ER-2
STORAGE	2217	2ND FLOOR - AREA B						1919.66 CF		150 SF	ER-2
CLASSROOM	M203	2ND FLOOR - AREA B	EEW-3	195 SF		263 SF	0 SF	8897.73 CF		810 SF	ER-2
CLASSROOM	M204	2ND FLOOR - AREA B	EEW-3	196 SF		263 SF	0 SF	8735.03 CF		799 SF	ER-2
CONFERENCE RM	M205	2ND FLOOR - AREA B	EEW-3	327 SF		48 SF	0 SF	3022.61 CF		359 SF	ER-2
STAFF LOUNGE	M206	2ND FLOOR - AREA B	EEW-3	463 SF		253 SF	0 SF	5319.74 CF		592 SF	ER-2
LITERACY CENTER	M207	2ND FLOOR - AREA B	EEW-3	256 SF		300 SF	0 SF	11045.86 CF		1026 SF	ER-2
CLASSROOM	M208	2ND FLOOR - AREA B	EEW-3	212 SF		263 SF	0 SF	9176.99 CF		852 SF	ER-2
READING LOUNGE	M209	2ND FLOOR - AREA B	EEW-3	207 SF		263 SF	0 SF	8995.91 CF		835 SF	ER-2
AREA C - 1921											

ROOM THERMAL STUDY

NAME	ROOM #	LEVEL	WALL TYPE	EXT WALL SF	FOUNDATION SF	WINDOW SF	DOOR SF	VOLUME	SLAB AREA	ROOF AREA	ROOF TYPE
KITCHEN	0104	LOWER BASEMENT - AREA C						2980.35 CF	298 SF		
BASEMENT	0105	LOWER BASEMENT - AREA C	EF-3	0 SF	330 SF	0 SF	21 SF	3127.12 CF	258 SF		
STOR	0106	LOWER BASEMENT - AREA C	EEW-4 + EF-3	264 SF	278 SF	23 SF	0 SF	3690.51 CF	238 SF		
BOILER ROOM	0107	LOWER BASEMENT - AREA C	EEW-4 + EF-3	118 SF	213 SF	46 SF	0 SF	6351.57 CF	410 SF		
CAFE	HL5	LOWER BASEMENT - AREA C	EEW-4 + EF-3	576 SF	619 SF	60 SF	0 SF	19608.27 CF	1444 SF		
ELEC/MECH STORAGE	0111	BASEMENT - AREA C	EF-3	0 SF	95 SF	0 SF	0 SF	2529.19 CF	238 SF		
CORRIDOR	0112	BASEMENT - AREA C						6415.01 CF	652 SF		
OFFICE	0113	BASEMENT - AREA C	EEW-4 + EF-3	85 SF	139 SF	23 SF	0 SF	2408.71 CF	233 SF		
CLASSROOM	HL1	BASEMENT - AREA C	EEW-4 + EF-3	160 SF	550 SF	114 SF	0 SF	7101.31 CF	645 SF		
CLASSROOM	HL2	BASEMENT - AREA C	EEW-4 + EF-3	279 SF	518 SF	114 SF	0 SF	6310.70 CF	631 SF		
JAN	HL3	BASEMENT - AREA C	EEW-4 + EF-3	85 SF	139 SF	23 SF	0 SF	3016.02 CF	263 SF		
STOR	HL4	BASEMENT - AREA C	EEW-4 + EF-3	280 SF	516 SF	114 SF	0 SF	5844.00 CF	623 SF		
STAIR	1227	1ST FLOOR - AREA C	EEW-4	114 SF			53 SF	1636.82 CF			
CORRIDOR	1230	1ST FLOOR - AREA C	EEW-4	114 SF		0 SF	0 SF	6911.75 CF			
VESTIBULE	1235	1ST FLOOR - AREA C	EEW-4	99 SF		31 SF	50 SF	467.24 CF			
CLASSROOM	H200	1ST FLOOR - AREA C	EEW-4	316 SF		173 SF	0 SF	8518.00 CF			
CLASSROOM	H201	1ST FLOOR - AREA C	EEW-4	553 SF		173 SF	0 SF	8333.49 CF			
MATH RESOURCES	H202	1ST FLOOR - AREA C	EEW-4	157 SF		35 SF	0 SF	2007.45 CF			
PSY / SOC	H203	1ST FLOOR - AREA C	EEW-4	159 SF		35 SF	0 SF	1426.61 CF			
MULTIPURPOSE	H204	1ST FLOOR - AREA C	EEW-4	1554 SF		28 SF	80 SF	19239.09 CF		1924 SF	ER-3
CLASSROOM	H205	1ST FLOOR - AREA C	EEW-4	553 SF		173 SF	0 SF	8146.65 CF			
CLASSROOM	H206	1ST FLOOR - AREA C	EEW-4	598 SF		173 SF	0 SF	7575.54 CF			
CORRIDOR	2223	2ND FLOOR - AREA C	EEW-4	742 SF		0 SF	0 SF	7811.28 CF			
STAIR	2240	2ND FLOOR - AREA C	EEW-4	113 SF		0 SF	0 SF	1460.58 CF			
CLASSROOM	H300	2ND FLOOR - AREA C	EEW-4	427 SF		173 SF	0 SF	9204.16 CF			
CLASSROOM	H301	2ND FLOOR - AREA C	EEW-4	548 SF		173 SF	0 SF	8135.04 CF			
CLASSROOM	H302	2ND FLOOR - AREA C	EEW-4	398 SF		128 SF	0 SF	8390.96 CF			
CLASSROOM	H303	2ND FLOOR - AREA C	EEW-4	546 SF		173 SF	0 SF	8486.19 CF			
CLASSROOM	H304	2ND FLOOR - AREA C	EEW-4	593 SF		173 SF	0 SF	8353.00 CF			
ATTIC	3000	ROOF - AREA C	EEW-4	1298 SF		18 SF	0 SF	33847.03 CF		4648 SF	ER-3

1. EXTERIOR WALL AREA EXCLUDES WINDOW AREA
2. FLOOR AREA IN AREA A - 1997 ADDITION HAS 2' OF PERIMETER INSULATION

EXTERIOR WALL THERMAL...

WALL TYPE TAG	DESC	APPROXIMATE R VALUE (1/k) F ft^2 h Btu-in	APPROXIMATE U VALUE
EEW-1	WALL ASSEMBLY - AREA A	24.45	0.0409
EEW-2	WALL ASSEMBLY @ GYM - AREA A	17.44	0.057339
EEW-3	WALL ASSEMBLY - AREA B	13.58	0.073638
EEW-4	WALL ASSEMBLY - AREA C	3.22	0.310559
EF-1	FOUNDATION WALL ASSEMBLY - AREA B	1.56	0.641026
EF-3	FOUNDATION WALL ASSEMBLY - AREA C	2.6	0.384615

ROOF THERMAL PROPERTIES

ROOF TYPE	DESC	THICKNESS	R VALUE (1/k) F ft^2 h Btu-in	U VALUE
	EXISTING ROOF AREA C	11 3/8"	1.32	0.757576
ER-1	EXISTING ROOF AREA A	5 3/8"		
ER-2	EXISTING ROOF AREA B	5 1/8"	8.62	0.116009
ER-3	EXISTING ROOF AREA C	1' - 1 1/8"	1.32	0.757576

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SCHEDULES

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CEILING HEIGHTS

ROOM NAME	ROOM #	A.F.F.	BO JST/SLB
AREA A - 1997			
1			
TOILET	1104	8' - 4"	4' - 9"
CORRIDOR	1105	9' - 0"	4' - 7"
STORAGE	1107	9' - 0"	1' - 11"
VESTIBULE	1110	8' - 8"	3' - 11"
PRINCIPAL	1112	9' - 0"	2' - 9"
CONFERENCE	1113	8' - 0"	3' - 0"
LADIES	1114	8' - 4"	4' - 0"
GENTS	1115	8' - 4"	4' - 0"
LOBBY	1116	10' - 4"	1' - 8"
FOYER	1117	11' - 4"	3' - 11"
OFFICE	1119	9' - 0"	3' - 8"
ELEV MACHINE	1123	8' - 0"	4"
CORRIDOR	1126B	9' - 0"	4' - 7"
BOYS LAV	1127	8' - 1"	4' - 9"
JAN	1128	9' - 0"	4' - 3"
GIRLS LAV	1129	8' - 1"	1' - 0"
KILN	1131	9' - 0"	1"
STOR	1132	9' - 0"	1"
STORAGE	1133	9' - 0"	3' - 7"
STOR	1134	9' - 0"	3' - 9"
SCIENCE	M100	9' - 0"	1' - 3 1/8"
NURSE	M101	9' - 0"	3' - 6"
MUSIC RM	M102	15' - 6"	0"
MEDIA CENTER	M104	9' - 11"	3' - 1"
COMPUTER RM	M105	9' - 0"	3' - 9"
ADMINISTRATION	M106	9' - 0"	3' - 6"
CLASSROOM	M107	8' - 8"	3' - 4"
CLASSROOM	M108	8' - 4"	9"
CLASSROOM	M109	10' - 4"	1 3/4"
2			
STAIR		8' - 11"	2' - 6"
STOR	2102	9' - 0"	2' - 10"
CORRIDOR	2105	8' - 6"	3' - 7"
CLASSROOM	M200	9' - 0 1/2"	2' - 4"
CLASSROOM	M201	9' - 0 1/2"	2' - 10"
CLASSROOM	M202	9' - 0 1/2"	2' - 4"
AREA B - 1948			
1			
DET	1204	8' - 11 1/2"	3' - 3"
CORRIDOR	1206	8' - 6 1/2"	3' - 8 1/4"
STOR	1207	9' - 0"	2 7/8"
VESTIBULE	1212	11' - 9 1/2"	5 3/8"
LAV	1213	9' - 0"	3' - 11 3/4"
LAV	1214	9' - 0"	3' - 11 3/4"
GIRLS LAV	1218	8' - 9"	3' - 9 3/4"
BOYS LAV	1219	8' - 9"	3' - 9 3/4"
STORAGE	1222	11' - 9 1/2"	1' - 5 3/8"
LAV	1243	8' - 9"	3' - 9 3/4"
CLASSROOM	M110	11' - 9"	5 3/4"
CLASSROOM	M110 SOFFIT	7' - 2"	5' - 1"
CLASSROOM	M111	11' - 6"	8 3/4"
CLASSROOM	M111 SOFFIT	7' - 2"	5' - 1"
SPEECH	M112	9' - 0"	3' - 2"
S. ED	M113	8' - 8 1/4"	3' - 10 1/2"
CLASSROOM	M114	11' - 9"	5 3/4"
CLASSROOM	M114 SOFFIT	7' - 2"	5' - 1"
STORAGE	M115	8' - 5 1/4"	4' - 1 1/2"
WORK ROOM	M116	8' - 3 3/4"	4' - 3"
CLASSROOM	M117	11' - 7 1/2"	7 1/4"
CLASSROOM	M117 SOFFIT	7' - 2"	5' - 1"
CLASSROOM	M118	11' - 7 1/2"	7 1/4"
CLASSROOM	M118 SOFFIT	7' - 2"	5' - 1"

CEILING HEIGHTS

ROOM NAME	ROOM #	A.F.F.	BO JST/SLB
2			
CORRIDOR	2203	9' - 0"	3' - 0 3/4"
LAV	2205	9' - 0"	3' - 0 7/8"
JAN	2206	8' - 11"	3' - 1 7/8"
CORRIDOR	2209	8' - 6"	3' - 2 3/4"
GIRLS LAV	2214	8' - 9"	3' - 3 3/4"
BOYS LAV	2215	8' - 9"	3' - 3 3/4"
STAIR	2218	10' - 2 1/2"	0"
CLASSROOM	M203	11' - 4"	4 3/4"
CLASSROOM	M203 SOFFIT	7' - 2"	4' - 7"
CLASSROOM	M204	11' - 4"	4 3/4"
CLASSROOM	M204 SOFFIT	7' - 2"	4' - 7"
CONFERENCE	M205	8' - 5"	3' - 3 3/4"
STAFF LOUNGE	M206	8' - 11 3/4"	3' - 1"
LITERACY CENTER	M207	11' - 1 1/2"	7 1/4"
LITERACY CENTER	M207 SOFFIT	7' - 2"	4' - 7"
CLASSROOM	M208	11' - 1 1/2"	7 1/4"
CLASSROOM	M208 SOFFIT	7' - 2"	4' - 7"
READING LOUNGE	M209	11' - 1 1/2"	7 1/4"
READING LOUNGE	M209 SOFFIT	7' - 2"	4' - 7"
AREA C - 1921			
0			
STOR		15' - 8"	
KITCHEN	0104	10' - 1"	3' - 8 7/8"
BOILER	0107	15' - 8"	
CORRIDOR	0112	11' - 3"	0"
OFFICE	0113	10' - 4"	
CLASSROOM	HL1	11' - 0"	
CLASSROOM	HL2	10' - 0"	
JANITOR	HL3	10' - 7"	
STOR	HL4	10' - 4"	
CAFE	HL5	10' - 1"	3' - 9"
1			
CORRIDOR	1230	12' - 2"	7"
TOILET	1231	7' - 8 1/2"	
LOBBY	1234	10' - 10 1/2"	1' - 0"
VESTIBULE	1235	9' - 8 1/2"	2' - 5 7/8"
TOILET	1238	7' - 9 1/2"	
CLASSROOM	H200	12' - 2"	1 3/8"
SOFFIT	H200 SOFFIT	6' - 0"	
CLASSROOM	H201	12' - 1"	1 3/8"
SOFFIT	H201 SOFFIT	7' - 6"	
MATH	H202	12' - 8 3/4"	0"
PSY	H203	12' - 8 1/2"	0"
MULTIPURPOSE	H204	15' - 9"	
CLASSROOM	H205	12' - 1"	0"
SOFFIT	H205 SOFFIT	6' - 1"	
CLASSROOM	H206	11' - 7"	2"
SOFFIT	H206	10' - 10"	11 1/8"
SOFFIT	H206 SOFFIT	5' - 0"	
2			
STAIR	1227	10' - 4"	
CORRIDOR	2223	11' - 6"	6 3/8"
STAIR	2229	14' - 0"	
CLASSROOM	H300	11' - 6"	0"
CLASSROOM	H301	11' - 7"	
CLASSROOM	H302	12' - 1"	
CLASSROOM	H303	12' - 1"	
CLASSROOM	H304	11' - 7 1/2"	0"

GROSS AND NET AREAS

	GROSS AREA: AREA A - 1997	GROSS AREA: AREA B - 1948	GROSS AREA: AREA C- 1921	GROSS AREA: TOTAL	NET AREA: AREA A - 1997	NET AREA: AREA B - 1948	NET AREA: AREA C - 1921	NET AREA: TOTAL	Area A - 1997 Conditioned
	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF	0 SF
BASEMENT	0 SF	1422 SF	7311 SF	8733 SF	0 SF	1221 SF	6290 SF	7511 SF	0 SF
FIRST FLOOR	17970 SF	10227 SF	7311 SF	35508 SF	6121 SF	8805 SF	6290 SF	21216 SF	10092 SF
SECOND FLOOR	3205 SF	10227 SF	5248 SF	18680 SF	2754 SF	8805 SF	4299 SF	15858 SF	0 SF
ATTIC	0 SF	0 SF	5248 SF	5248 SF	0 SF	0 SF	4773 SF	4773 SF	0 SF
Grand total	21175 SF	21876 SF	25118 SF	68169 SF	8875 SF	18831 SF	21652 SF	49358 SF	10092 SF

ROOF AREA SCHEDULE

DESC	Area A/B/C	ROOF AREA	SOFFIT AREA	TOTAL AREA
AREA A - 1997				
AREA A - 1ST LVL ROOF	A	9158 SF	0 SF	9158 SF
AREA A - 2ND LVL ROOF	A	2914 SF	0 SF	2914 SF
AREA A - GYM ROOF	A	4667 SF	0 SF	4667 SF
AREA A - STORAGE ROOF	A	527 SF	0 SF	527 SF
AREA B - 1948				
AREA B - FLAT ROOF	B	9515 SF	0 SF	9515 SF
AREA C - 1921				
AREA C - DORMER	C	40 SF	0 SF	40 SF
AREA C - DORMER	C	40 SF	0 SF	40 SF
AREA C - DORMER	C	40 SF	0 SF	40 SF
AREA C - FLAT ROOF	C	1924 SF	0 SF	1924 SF
AREA C - PITCHED ROOF	C	6127 SF	574 SF	6701 SF
AREA C - PITCHED ROOF	C	5931 SF	574 SF	6505 SF
AREA C - SPIRE CAP	C	36 SF	0 SF	36 SF

HVAC WALL PENETRATION

PHASE	ROOM NUM	AREA A/B/C	NAME	DUCT PENETRATIONS	CORES
1	0107	C	BOILER ROOM	2	5
1	H200	C	CLASSROOM	2	4
1	H202	C	MATH RESOURCES	2	4
1	H203	C	PSY / SOC	2	4
1	H206	C	CLASSROOM	2	4
1	H300	C	CLASSROOM	2	4
1	H302	C	CLASSROOM	4	8
1	H304	C	CLASSROOM	2	4
1	HL1	C	CLASSROOM	2	5
				20	42
2	1124	A	STAIR	2	4
2	1127	A	BOYS	2	8
2	1129	A	GIRLS	2	0
2	2104	A	STAIR	2	4
2	M107	A	CLASSROOM	2	4
2	M108	A	CLASSROOM	2	4
2	M109	A	ART	2	4
2	M200	A	CLASSROOM	2	4
2	M201	A	CLASSROOM	2	4
2	M202	A	CLASSROOM	2	4
2	1222	B	STORAGE	2	4
2	2217	B	STORAGE	2	4
2	M110	B	CLASSROOM	2	4
2	M111	B	CLASSROOM	2	4
2	M112	B	SPEECH	2	4
2	M113	B	S. ED	2	4
2	M114	B	CLASSROOM	2	4
2	M115	B	STORAGE	2	4
2	M116	B	WORK ROOM	2	4
2	M117	B	CLASSROOM	2	4
2	M118	B	ART	2	4
2	M203	B	CLASSROOM	2	4
2	M204	B	CLASSROOM	2	4
2	M205	B	CONFERENCE RM	2	4
2	M206	B	STAFF LOUNGE	2	4
2	M207	B	LITERACY CENTER	2	4
2	M208	B	CLASSROOM	2	4
2	M209	B	READING LOUNGE	2	4
				56	112

REFER TO BVH FOR FLOOR AND ROOF PENTRATIONS

CORRIDOR CEILING AREA

PHASE	Area A/B/C	LEVEL	ROOM NAME	ROOM NUM	AREA
1	C	BASEMENT - AREA C	CORRIDOR	0112	652 SF
1	C	1ST FLOOR - AREA C	CORRIDOR	1230	573 SF
1	C	2ND FLOOR - AREA C	CORRIDOR	2223	679 SF
					1904 SF
2	A	1ST FLOOR - AREA A	CORRIDOR	1126B	680 SF
2	A	2ND FLOOR - AREA A	CORRIDOR	2105	264 SF
2	B	1ST FLOOR - AREA B	CORRIDOR	1206	2674 SF
2	B	2ND FLOOR - AREA B	CORRIDOR	2209	2498 SF
					6115 SF
3	A	1ST FLOOR - AREA A	CORRIDOR	1105	350 SF
3	A	1ST FLOOR - AREA A	CORRIDOR	1126A	248 SF
					598 SF

CEILING REMOVAL & REPLACEMENT

PHASE	ROOM NUM	AREA A/B/C	DESC	CEILING REMOVAL: PARTIAL	CEILING REMOVAL: FULL	NEW CEILING	LOWER CEILING	NUM OF OBJECTS	LIGHT FIXTURES: REMOVE/ REUSE	LIGHT FIXTURES: NEW
1	HL5	C	CAFE		1267 SF				20	
1		C	CORRIDOR		82 SF				1	
1		C	CORRIDOR		77 SF				1	
1	1230	C	CORRIDOR		390 SF				4	
1	H200	C	CLASSROOM			599 SF	●			6
1	H201	C	CLASSROOM			617 SF	●			6
1	H204	C	MULTIPURPOSE		1584 SF				15	
1	H205	C	CLASSROOM			609 SF	●			6
1	H206	C	CLASSROOM		598 SF	0 SF	●		6	
1	2223	C	CORRIDOR	339 SF				2	4	
1	H300	C	CLASSROOM		669 SF	0 SF	●		6	
1	H301	C	CLASSROOM		658 SF	0 SF	●		6	
1	H302	C	CLASSROOM			647 SF	●			6
1	H303	C	CLASSROOM			658 SF	●			6
1	H304	C	CLASSROOM		659 SF	0 SF	●		6	
				339 SF	5984 SF	3129 SF		2	69	30
2	1126B	A	CORRIDOR		670 SF			4	11	
2	M107	A	CLASSROOM	374 SF				1	9	
2	M108	A	CLASSROOM	374 SF				1	9	
2	M109	A	CLASSROOM	400 SF					10	
2	1206	B	CORRIDOR		1552 SF			15	18	
2	1206	B	CORRIDOR		158 SF			0	2	
2	1206	B	CORRIDOR		175 SF			2	2	
2	1206	B	CORRIDOR		339 SF			4	4	
2	M110	B	CLASSROOM		711 SF		●	3	8	
2	M111	B	CLASSROOM		736 SF		●	3	8	
2	M114	B	CLASSROOM		730 SF		●	3	8	
2	M117	B	CLASSROOM		752 SF		●	3	8	
2	M118	B	CLASSROOM		743 SF		●	3	8	
2	2105	A	CORRIDOR		278 SF			2	3	
2	M200	A	CLASSROOM	412 SF				1	9	
2	M201	A	CLASSROOM	355 SF				2	9	
2	M202	A	CLASSROOM	258 SF				1	9	
2	2203	B	CORRIDOR		363 SF			2	4	
2	2209	B	CORRIDOR		1492 SF			13	18	
2	2209	B	CORRIDOR		165 SF			0	1	
2	2209	B	CORRIDOR		134 SF			1	2	
2	2209	B	CORRIDOR		360 SF			2	4	
2	M203	B	CLASSROOM		736 SF		●	3	8	
2	M204	B	CLASSROOM		723 SF		●	3	10	
2	M207	B	LITERACY CENTER		909 SF		●	3	12	
2	M208	B	CLASSROOM		757 SF		●	3	10	
2	M209	B	READING LOUNGE		743 SF		●	3	10	
				2173 SF	13225 SF	0 SF		81	214	0
3	1105	A	CORRIDOR		355 SF			4	3	
3	1126A	A	CORRIDOR		252 SF			3	2	
3	M100	A	SCIENCE	351 SF				1	9	
				351 SF	607 SF	0 SF		8	14	0

NOTE:
FULL REMOVAL - REPLACES EXISTING DROP CEILING WITH A NEW DROP CEILING
NEW CEILING - REPLACES EXISTING GYP/PLASTER CEILING WITH DROP CEILING

NEW SOFFIT AREA

MATERIAL	AREA
AREA C - 1921	
GWB	1094 SF

NET AREA BY PHASE

PHASE	Year Built	Area
1		414 SF
1	AREA C - 1921	21071 SF
		21485 SF
2	AREA A - 1997	6819 SF
2	AREA B - 1948	18891 SF
		25710 SF
3	AREA A - 1997	12185 SF
		12185 SF
		59380 SF

TOWN OF NEWTOWN 1705 CONN.

OWNER

HAWLEY ELEMENTARY SCHOOL
29 CHURCH HILL ROAD
NEWTOWN, CT 06470

ARCHITECT

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ENGINEERS

BVH integrated services
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Bloomfield, CT 06002
Tel: (860) 286-9171 www.bvhis.com

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PROGRESS DRAWINGS

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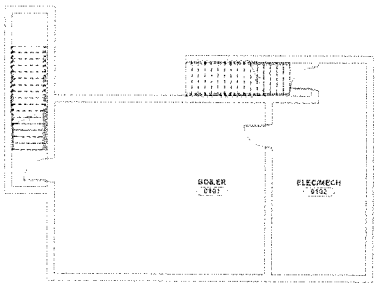
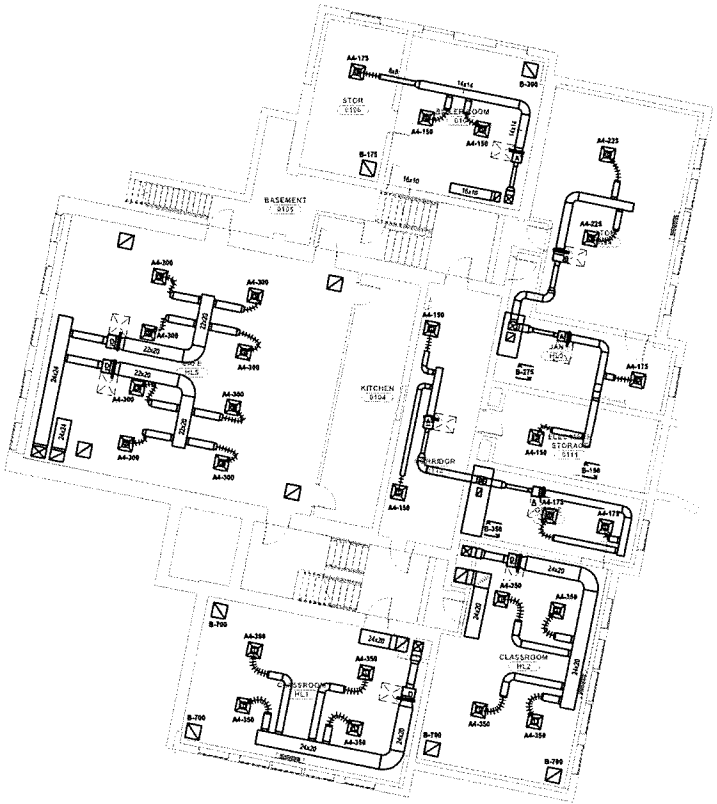
SCHEDULES

A602

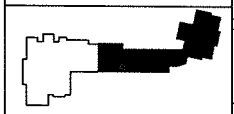


1 HVAC - BASEMENT AREA B
1/8" = 1'-0"



2 HVAC - BASEMENT AREA C
1/8" = 1'-0"

KEY PLAN



AREA B AREA C

TOWN OF NEWTOWN 1705 CONN

OWNER
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HVAC BASEMENT PLAN

H100

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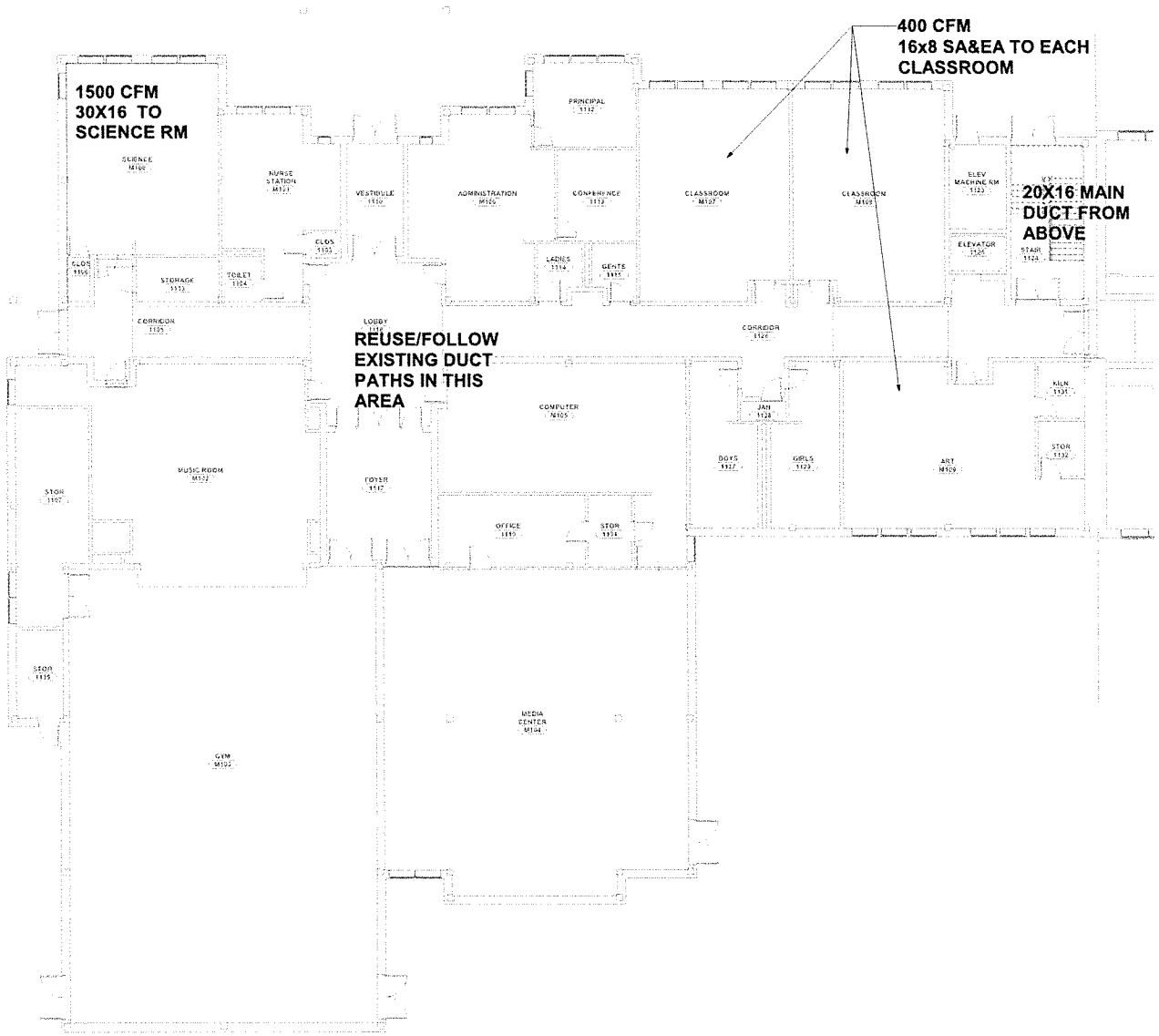
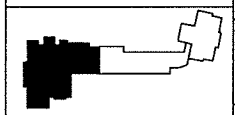


1 HVAC-FIRST FLOOR AREA A
1/8" = 1'-0"

KEY PLAN



AREA A

TOWN OF NEWTOWN 1705 CONN

OWNER

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HVAC FIRST FLOOR PLAN AREA A

H101-A

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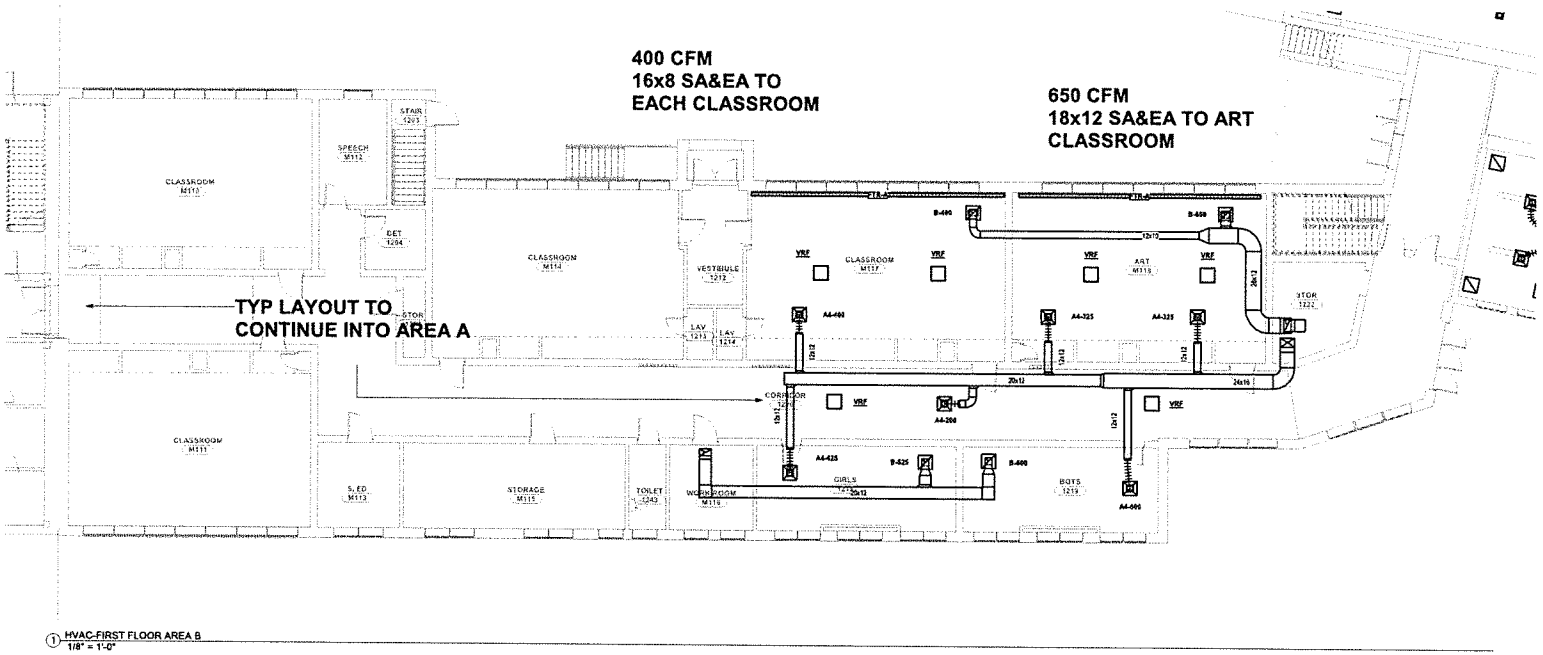

1 HVAC-FIRST FLOOR AREA B
1/8" = 1'-0"

KEY PLAN

AREA B

TOWN OF NEWTOWN

OWNER

HAWLEY ELEMENTARY SCHOOL
29 CHURCH HILL ROAD
NEWTOWN, CT 06470

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HVAC FIRST FLOOR PLAN AREA B

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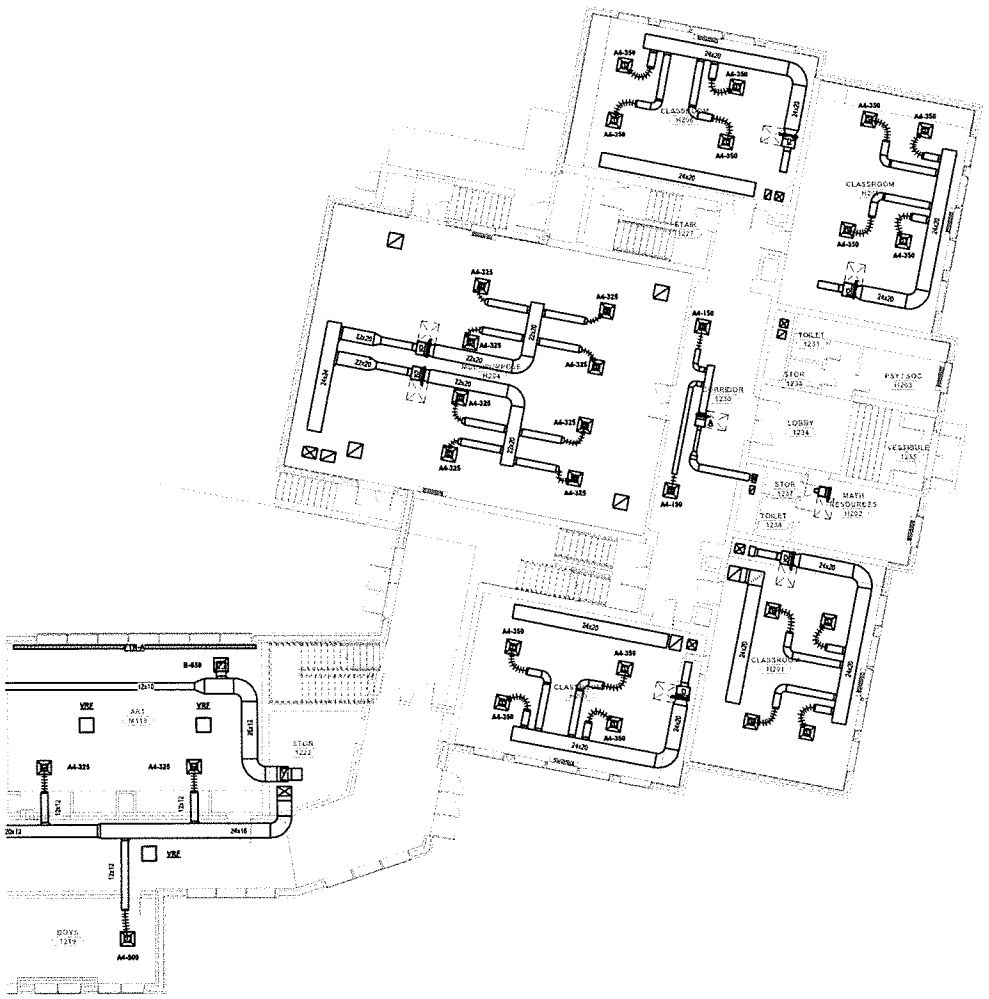
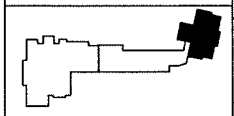


1 HVAC-FIRST FLOOR AREA C
1/8" = 1'-0"

KEY PLAN



AREA C

OWNER

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H101-C

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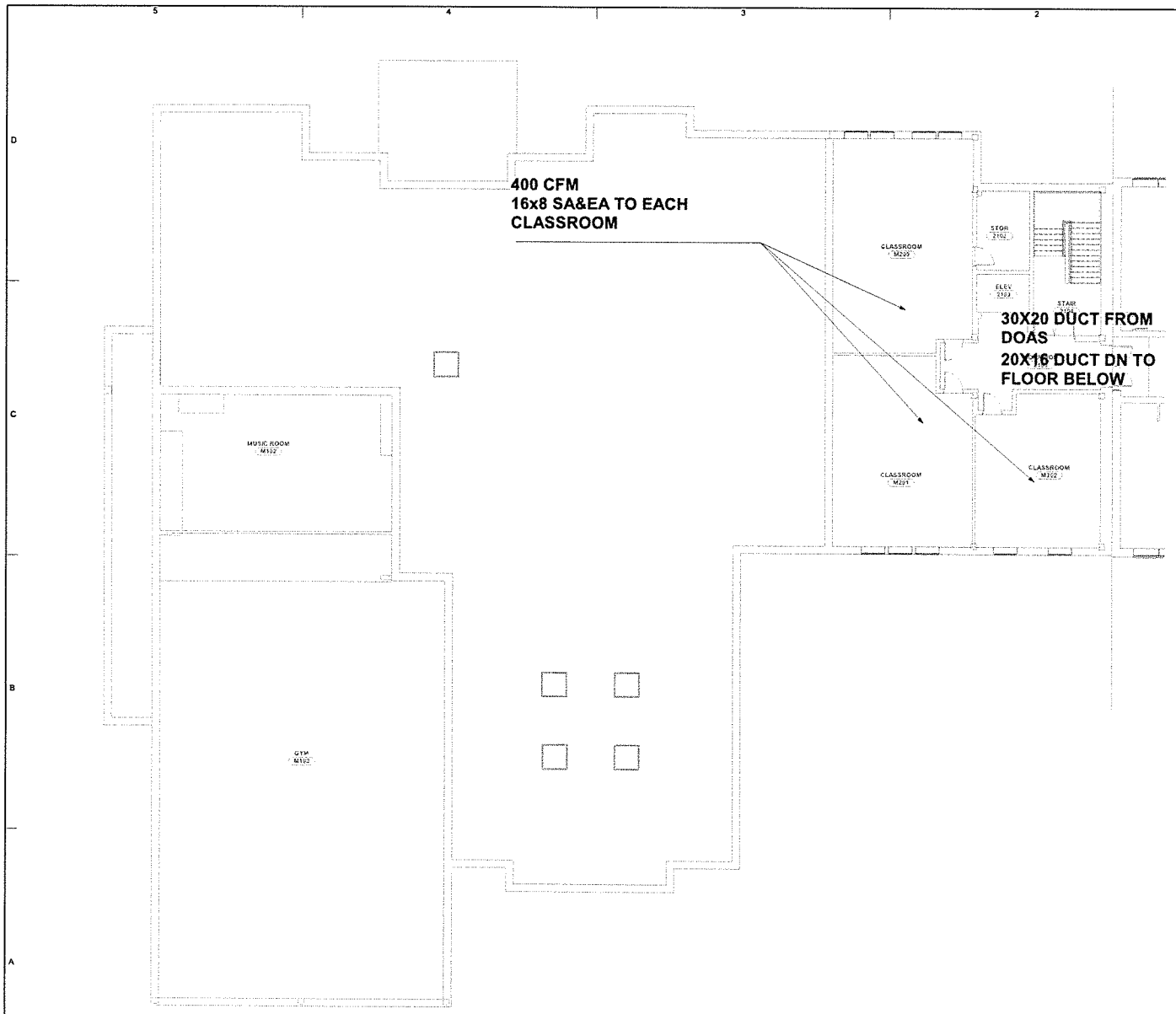
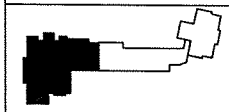


1 HVAC-SECOND FLOOR AREA A
1/8" = 1'-0"

KEY PLAN



AREA A
1

TOWN OF NEWTOWN 1703 CONN.

OWNER
HAWLEY ELEMENTARY SCHOOL
29 CHURCH HILL ROAD
NEWTOWN, CT 06470

ARCHITECT
CWA
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ENGINEERS
BVH integrated services
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Bloomfield, CT 06002
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HVAC SECOND FLOOR PLAN AREA A

H102-A

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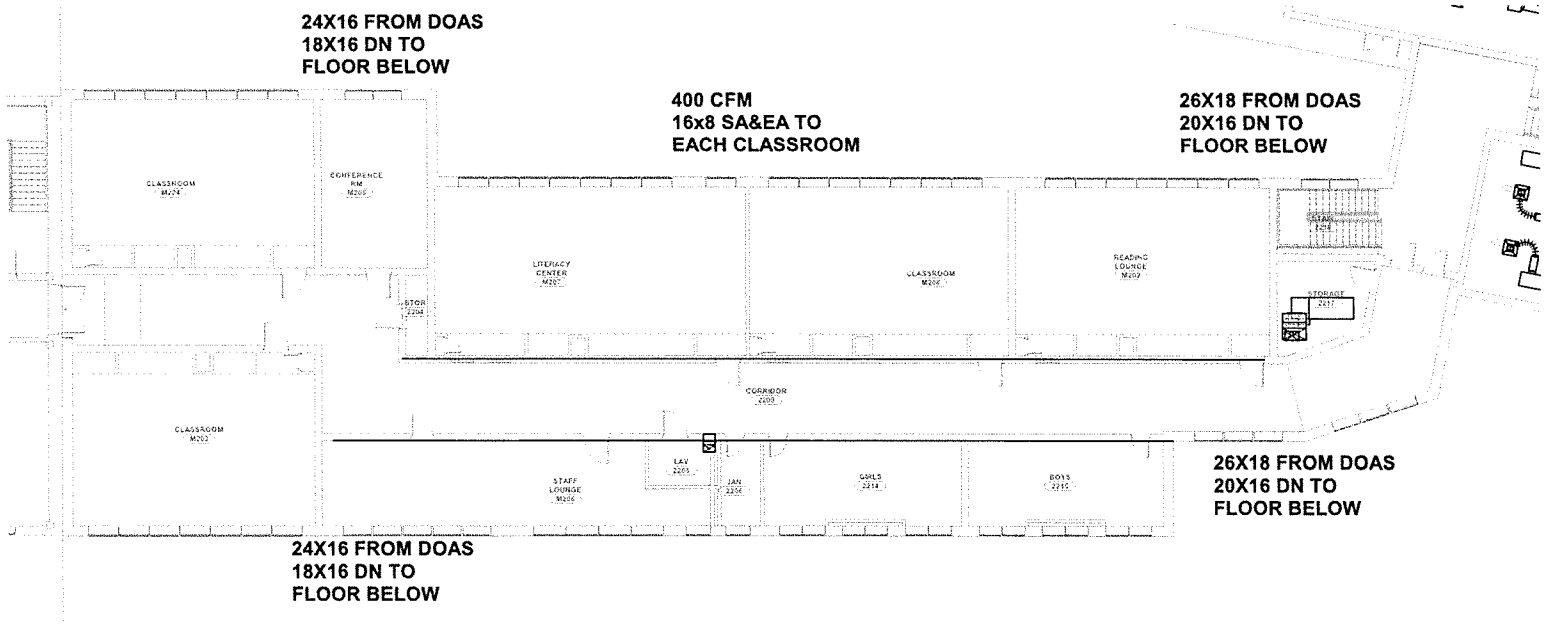

1 HVAC-SECOND FLOOR AREA B
1/8" = 1'-0"

OWNER
HAWLEY ELEMENTARY SCHOOL
29 CHURCH HILL ROAD
NEWTOWN, CT 06470

ARCHITECT
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HVAC SECOND FLOOR PLAN AREA B

H102-B

KEY PLAN

AREA B

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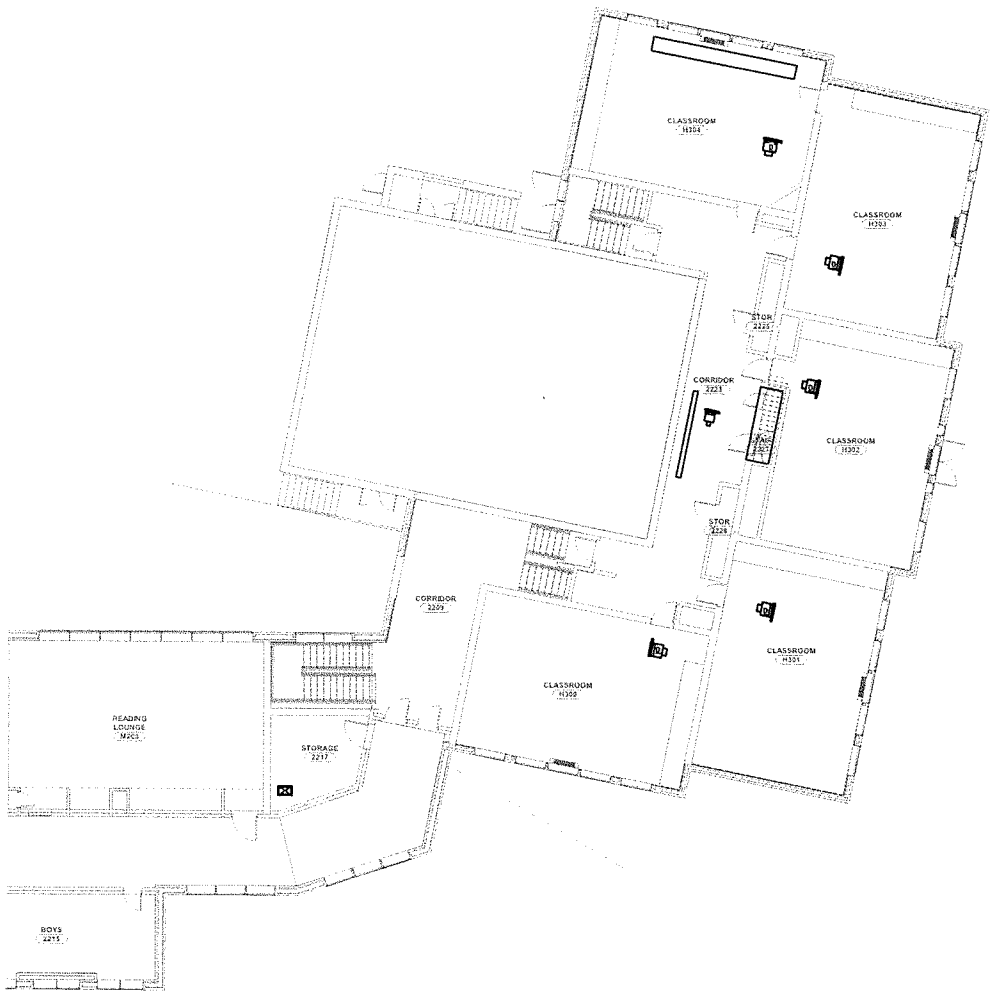
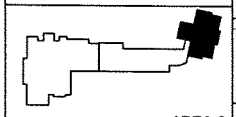


1 HVAC-SECOND FLOOR AREA C
1/8" = 1'-0"

KEY PLAN



AREA C

TOWN OF NEWTOWN

OWNER

HAWLEY ELEMENTARY SCHOOL
29 CHURCH HILL ROAD
NEWTOWN, CT 06470

ARCHITECT

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HVAC SECOND FLOOR PLAN AREA C

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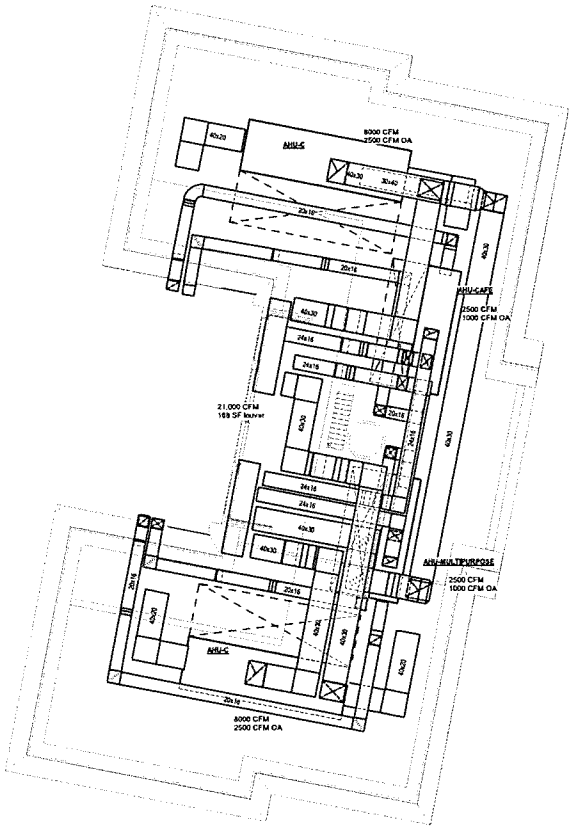

1 HVAC-ATTIC AREA C
1/8" = 1'-0"

TOWN OF NEWTOWN 1705 CONN

OWNER

HAWLEY ELEMENTARY SCHOOL
29 CHURCH HILL ROAD
NEWTOWN, CT 06470

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HVAC ATTIC PLAN PART C

H103-C

KEY PLAN

AREA C

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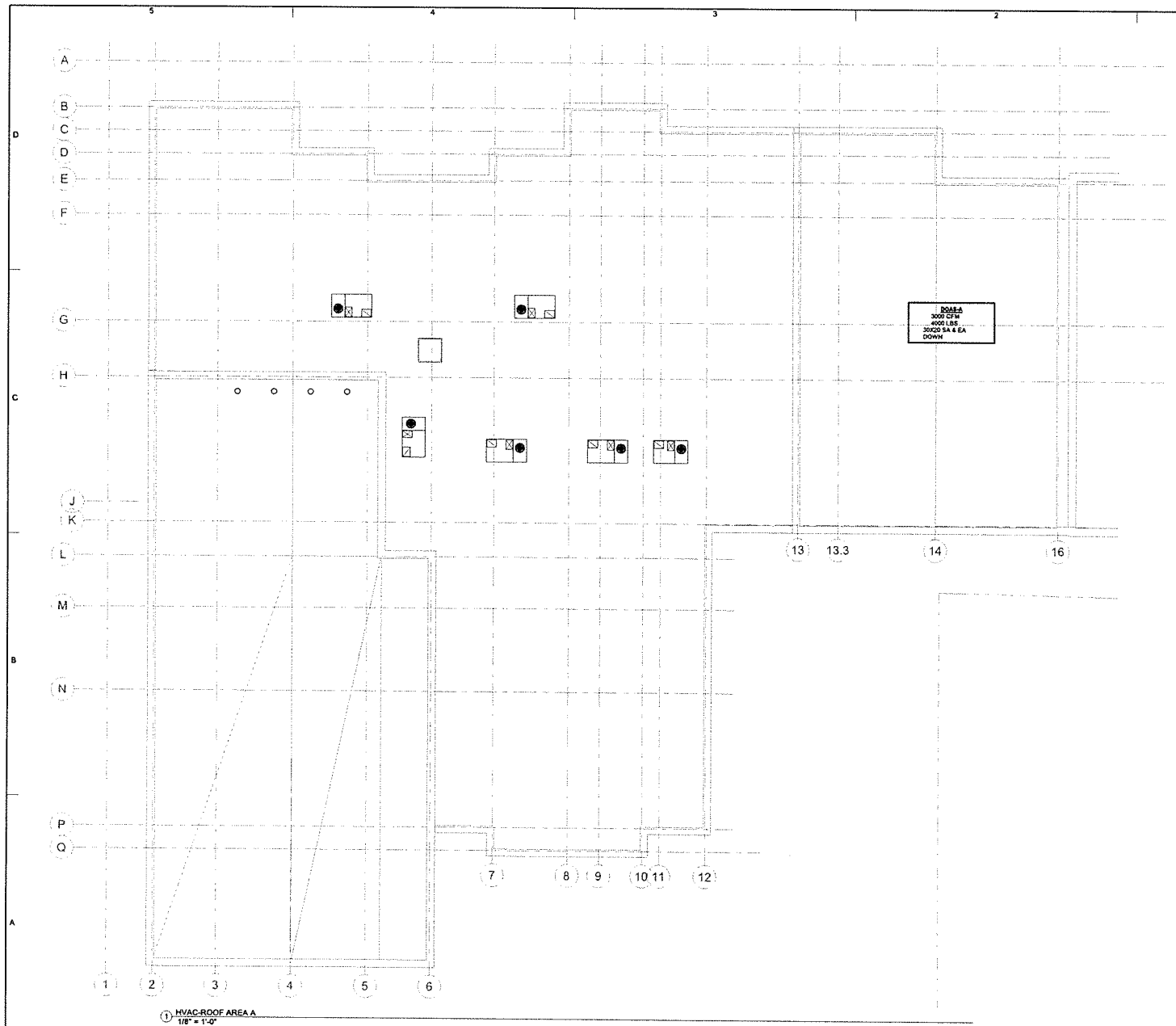

1 HVAC-ROOF AREA A
1/8" = 1'-0"

GENERAL NOTES

1. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of all Work by the Contractor. The Contract Documents are complementary, and what is required by one shall be as binding as if required by all. Where a conflict within the Contract Documents exists, the Contractor shall provide the better quality or greater quantity of work in accordance with the Architect's resolution without any increase in the Contract sum. Organization of the Specifications into divisions, sections and articles, and arrangement of sheets shall not control the Contractor in dividing the work among subcontractors, or in establishing the extent of Work to be performed by any trade.
2. REFERENCE KEY NOTES and SHEET KEY NOTES are intended to indicate and clarify the extent and requirements of the Work; they do not indicate every location or occurrence of required Work. The lack of a key note to an individual item of Work will not relieve the Contractor of responsibility to execute that Work as part of the Contract when the requirement for that Work can be logically inferred by other parts of the Contract Documents
3. Do not scale drawings, except for estimation and approximation purposes.
4. This is an existing building; all conditions and critical dimensions must be field verified.

KEYNOTES

TOWN OF NEWTOWN 1705 CONN

OWNER

HAWLEY ELEMENTARY SCHOOL
29 CHURCH HILL ROAD
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HVAC ROOF PLAN PART A

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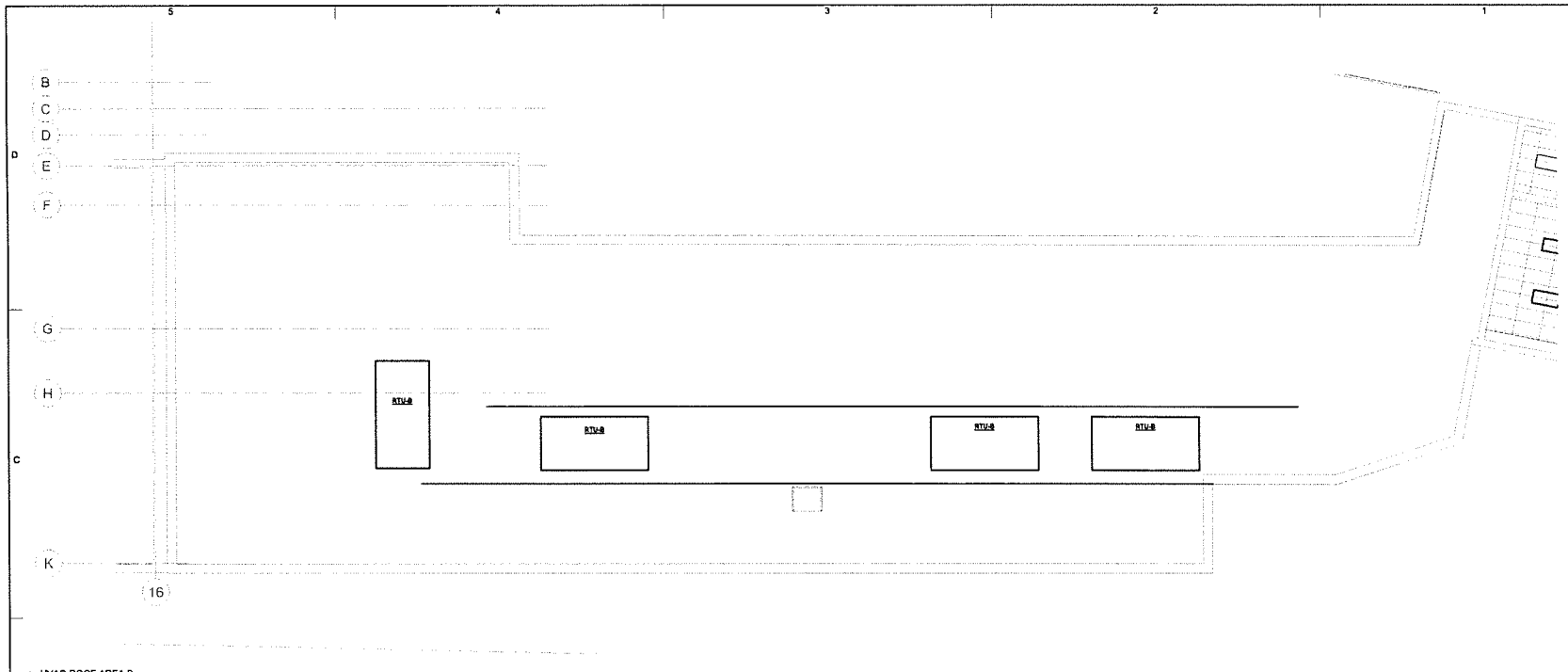


1 HVAC-ROOF AREA B
1/8" = 1'-0"

DUCTWORK GENERAL NOTES:

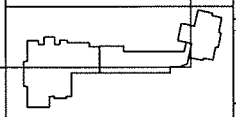
1. xxxxx

GENERAL NOTES:

1. xxxxx

UNGROUP BEFORE USE

KEY PLAN



TOWN OF NEWTOWN 1705 CONN.

OWNER

HAWLEY ELEMENTARY SCHOOL
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HVAC ROOF PLAN PART B

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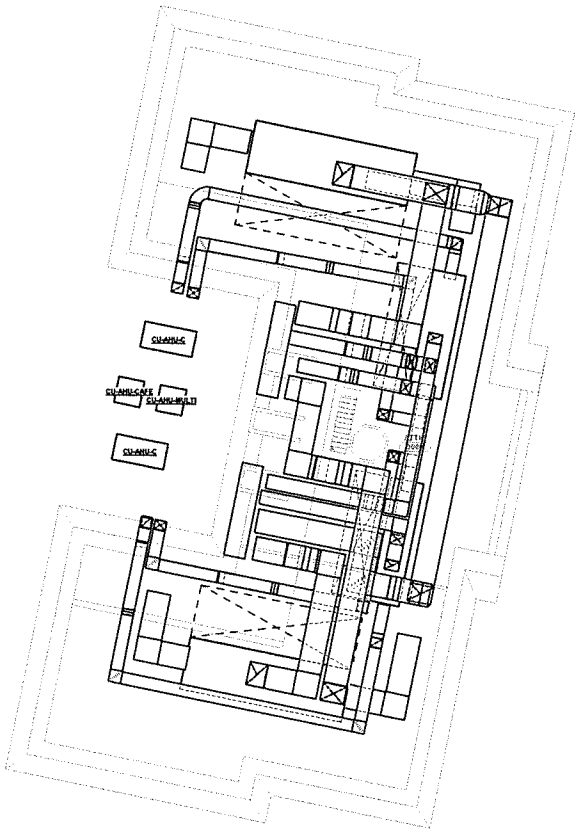
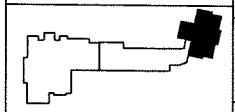


HVAC-ROOF AREA C
1/8" = 1'-0"

KEY PLAN



AREA C

TOWN OF NEWTOWN 1705

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